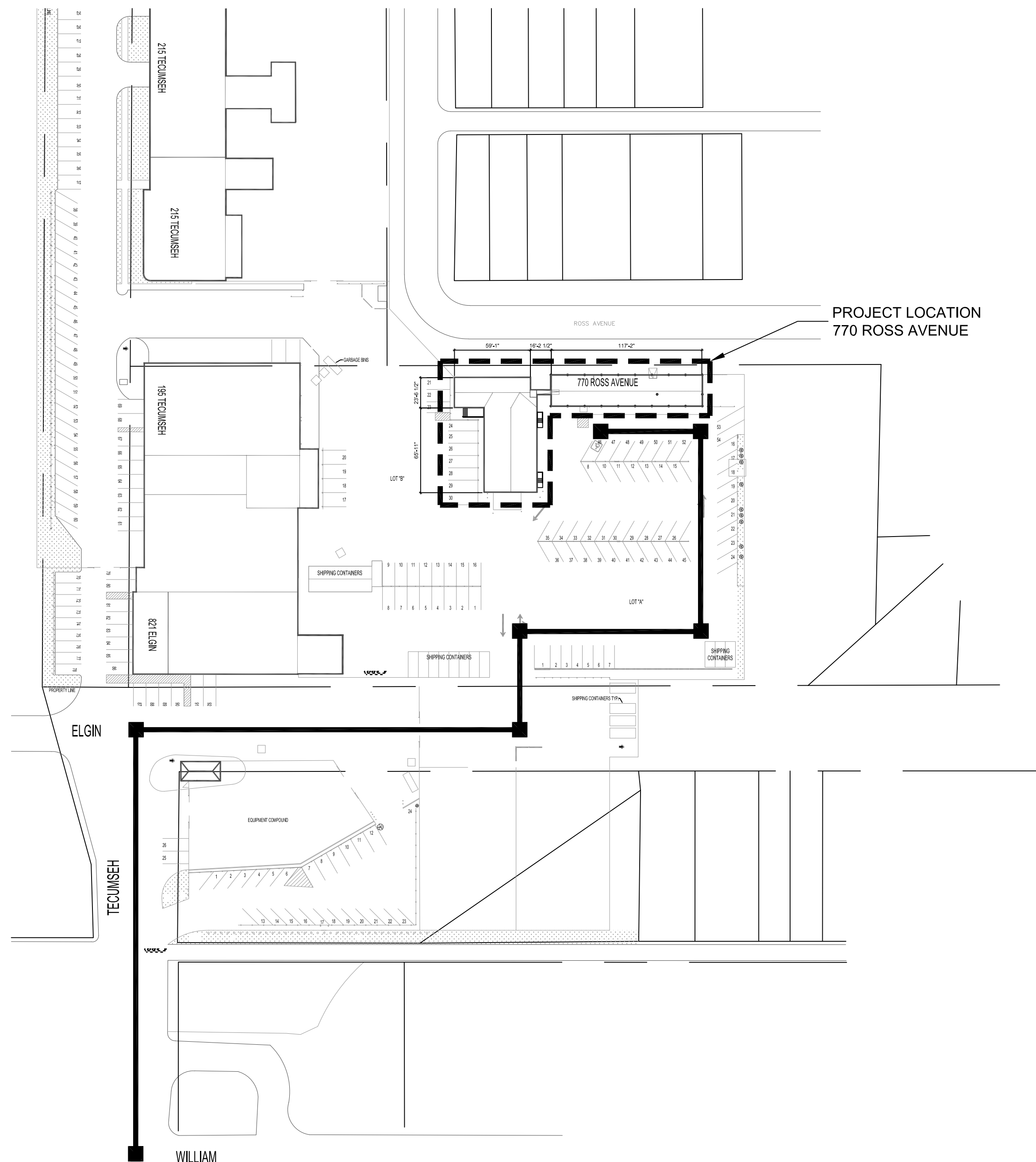




# WINNIPEG FLEET MANAGEMENT

## 770 ROSS STREET

# WASHROOM RENOVATIONS

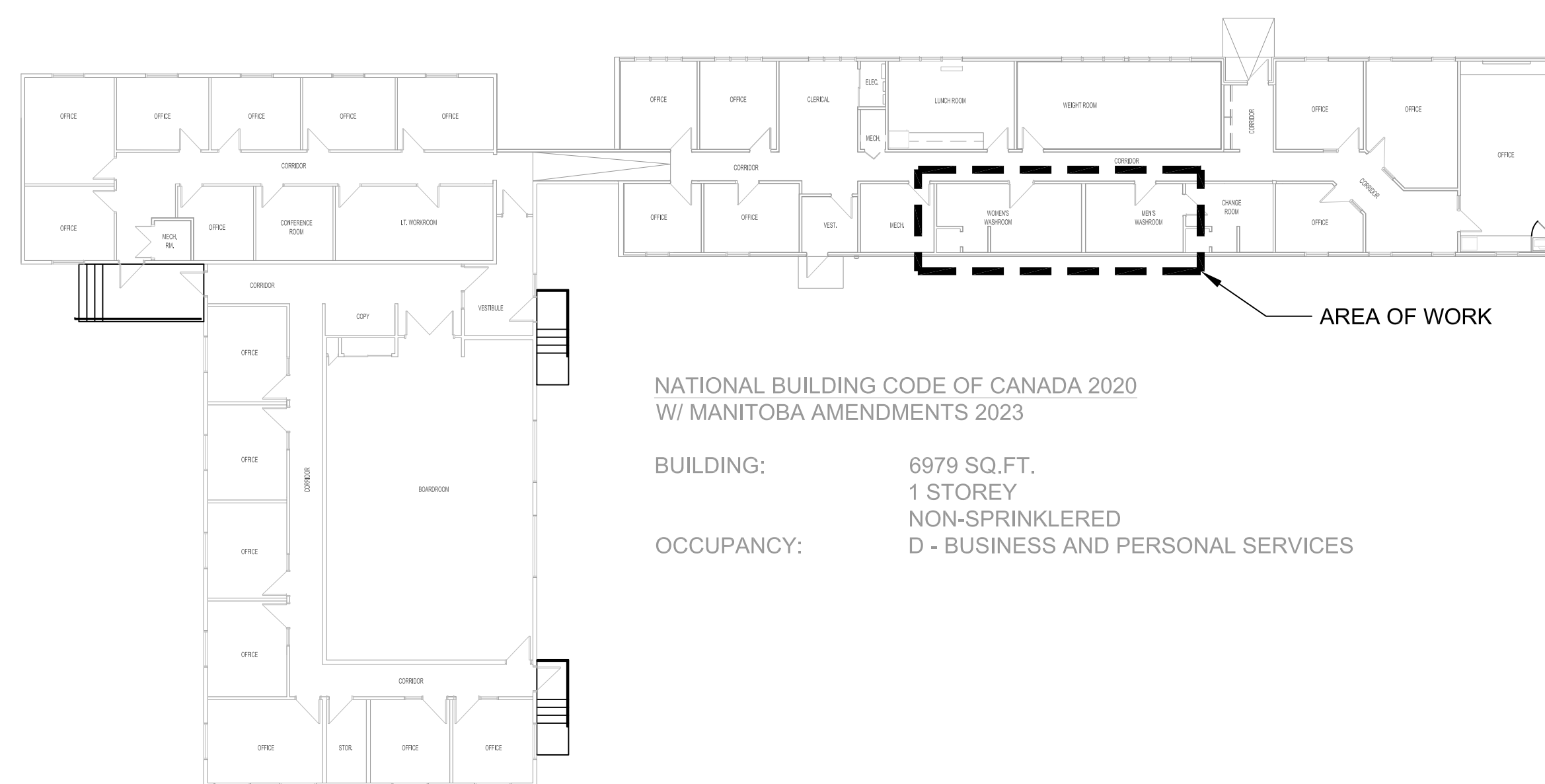


### PROJECT NOTES:

1. WORK TO TAKE PLACE DURING BUSINESS HOURS. REQUESTS FOR AFTER HOURS WORK TO BE COMMUNICATED TO CONTRACT ADMINISTRATOR MIN. 48 HOURS IN ADVANCE, SUBJECT TO APPROVAL.
2. LEAD PAINT IS PRESENT ABOVE THE CEILING. CoW COMPLETED CLEAN UP ABOVE ACOUSTICAL CEILING TILE IN ADVANCE OF CONSTRUCTION.
3. MATERIALS, EQUIPMENT, AND FINISHES HAVE BEEN SELECTED FOR DURABILITY AND SUSTAINABILITY. EQUALS AND ALTERNATES WILL BE CONSIDERED, BUT MUST BE SUBMITTED DURING TENDER PERIOD.
4. GC TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS, AND PAY ALL RELATED FEES REQUIRED FOR THIS RENOVATION.

### DRAWING LIST

SHEET No:	SHEET TITLE
A0	COVER: SITE PLAN, DRAWING LIST
A1	DEMOLITION & RENOVATION
A2	EQUIPMENT PLAN & ELEVATIONS
M1	PLUMBING & HVAC DEMOLITION
M2	PLUMBING RENOVATION
M3	MECHANICAL SPECIFICATIONS
E1	DEMOLITION & RENOVATION - POWER & SYSTEMS



NATIONAL BUILDING CODE OF CANADA 2020  
W/ MANITOBA AMENDMENTS 2023

BUILDING: 6979 SQ.FT.  
1 STOREY  
NON-SPRINKLERED  
OCCUPANCY: D - BUSINESS AND PERSONAL SERVICES

1  
A1 770 ROSS AVENUE  
1/16" = 1'-0"

1  
A0 770 ROSS AVENUE - SITE PLAN  
NOT TO SCALE