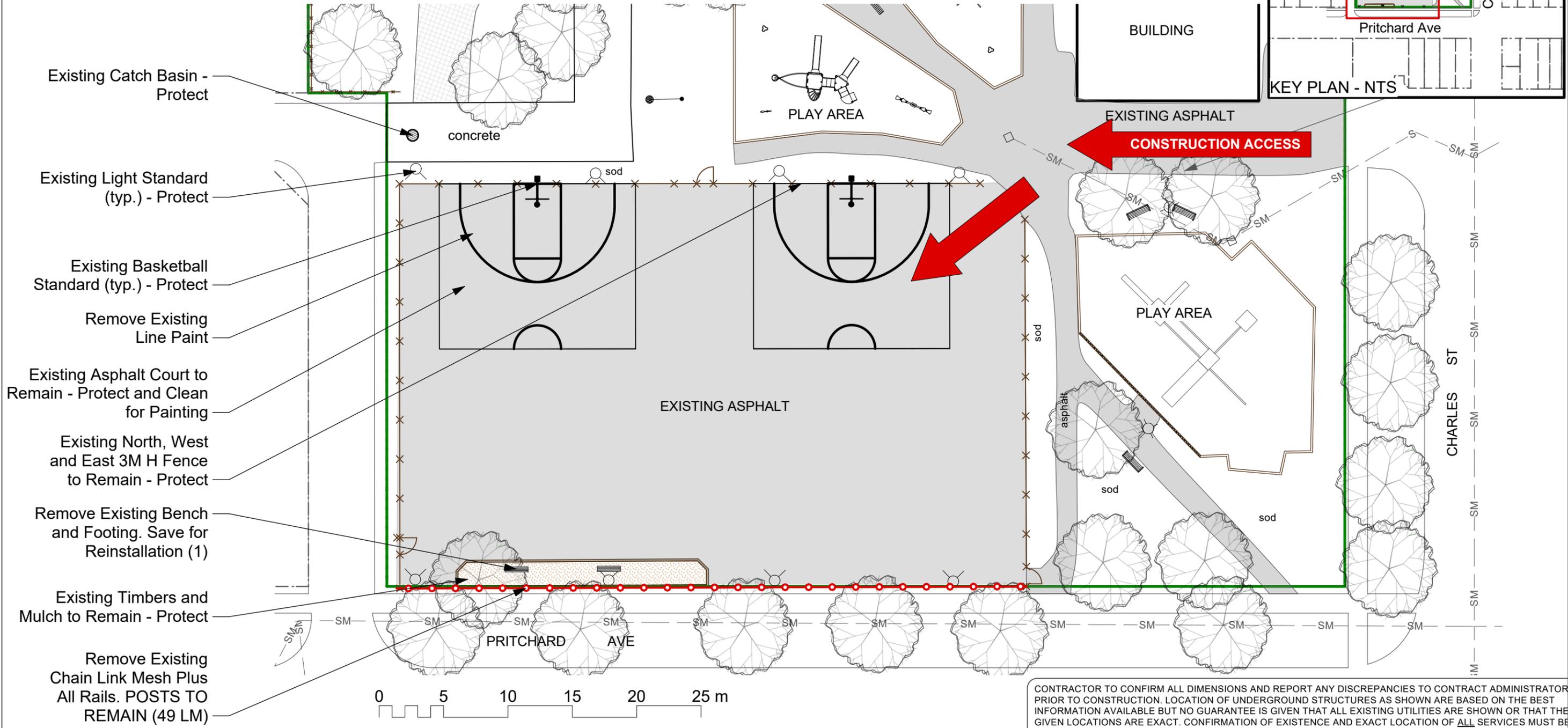
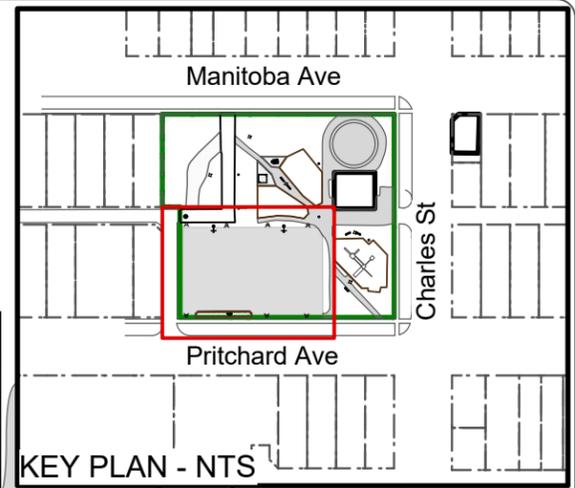




DEMOLITION & REMOVALS NOTES

1. ALL WORK TO CONFORM TO CURRENT CITY OF WINNIPEG STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED
2. DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED
3. DO NOT SCALE DRAWINGS
4. PROTECT EXISTING TREES TO REMAIN, TYP.
5. SECURE CONSTRUCTION SITE AND STAGING AREA WITH CONSTRUCTION FENCING C/W SAFETY SIGNAGE
6. CONFIRM STAGING AREA W/ CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION



- Existing Catch Basin - Protect
- Existing Light Standard (typ.) - Protect
- Existing Basketball Standard (typ.) - Protect
- Remove Existing Line Paint
- Existing Asphalt Court to Remain - Protect and Clean for Painting
- Existing North, West and East 3M H Fence to Remain - Protect
- Remove Existing Bench and Footing. Save for Reinstallation (1)
- Existing Timbers and Mulch to Remain - Protect
- Remove Existing Chain Link Mesh Plus All Rails. POSTS TO REMAIN (49 LM)

CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION. LOCATION OF UNDERGROUND STRUCTURES AS SHOWN ARE BASED ON THE BEST INFORMATION AVAILABLE BUT NO GUARANTEE IS GIVEN THAT ALL EXISTING UTILITIES ARE SHOWN OR THAT THE GIVEN LOCATIONS ARE EXACT. CONFIRMATION OF EXISTENCE AND EXACT LOCATION OF ALL SERVICES MUST BE OBTAINED FROM THE INDIVIDUAL UTILITIES BEFORE PROCEEDING WITH CONSTRUCTION.



THE CITY OF WINNIPEG
 Planning, Property and Development Department
 Planning and Land Use Division
 Unit 15 - 30 Fort Street, Winnipeg, MB, (R3C 4X5)

DESIGNED BY	CHECKED BY	MANAGER, PARK AND OPEN SPACES	DATE
DRAWN BY IM	APPROVED BY		
HORIZ. SCALE VERT. SCALE	1:300	MANAGER, PLANNING AND LAND USE DIVISION	DATE
DATE	March 2025		

DRAWING TITLE	DRAWING NO.
Pritchard Park Sport Court Improvements Existing Conditions and Removals	P.13-H1
SITE ADDRESS 295 Pritchard Ave	BID OPPORTUNITY NO. 408-2025