



- GRADING NOTES**
1. ALL WORK TO CONFORM TO CURRENT CITY OF WINNIPEG STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED.
 2. DIMENSIONS ARE IN **METERS** UNLESS OTHERWISE NOTED.
 3. DO NOT SCALE DRAWING.
 4. PROTECT EXISTING TREES TO REMAIN, TYP.
 5. PAVEMENT SLOPE: DIRECTIONAL SLOPE 5% MAX., CROSS SLOPE 2% MAX., UNLESS OTHERWISE NOTED.
 6. GRADES FOR PATHWAY AND SOD ARE TO MATCH SURROUNDING EXISTING GRADES UNLESS OTHERWISE NOTED.

Contour Interval = 0.02 M

TOR: Top of Ramp

TOSS: Top of Safety Surface

Proposed Slope **4%**

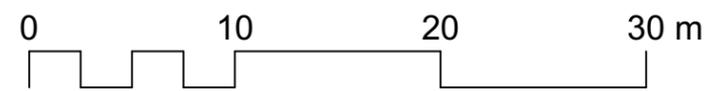
Proposed Elevation **+100.10**

Existing Elevation + GR / 99.687m

Existing Contours

Proposed Contours

Benchmark Elevations are top nut of fire hydrant (TBM1 100.078) and top of post (TBM2 101.212)



CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION. LOCATION OF UNDERGROUND STRUCTURES AS SHOWN ARE BASED ON THE BEST INFORMATION AVAILABLE BUT NO GUARANTEE IS GIVEN THAT ALL EXISTING UTILITIES ARE SHOWN OR THAT THE GIVEN LOCATIONS ARE EXACT. CONFIRMATION OF EXISTENCE AND EXACT LOCATION OF ALL SERVICES MUST BE OBTAINED FROM THE INDIVIDUAL UTILITIES BEFORE PROCEEDING WITH CONSTRUCTION.



THE CITY OF WINNIPEG
 Planning, Property and Development Department
 Planning and Land Use Division
 Unit 15 - 30 Fort Street, Winnipeg, MB, (R3C 4X5)

DESIGNED BY	IM	CHECKED BY	
DRAWN BY	IM	APPROVED BY	
HORIZ. SCALE	1:350		
VERT. SCALE			
DATE	JUNE 2023		

MANAGER, PARK AND OPEN SPACES	DATE
MANAGER, PLANNING AND LAND USE DIVISION	DATE

DRAWING TITLE
**Burland Park
 Playground Redevelopment
 Grading Plan**

SITE ADDRESS 150 Burland Ave.

DRAWING NO.
B.36-F3

BID OPPORTUNITY NO.
402-2023