

# WEATHER PROTECTED WALKWAY SYSTEM, ACCESSIBILITY UPGRADES

## GRAHAM AVE, WINNIPEG, MB

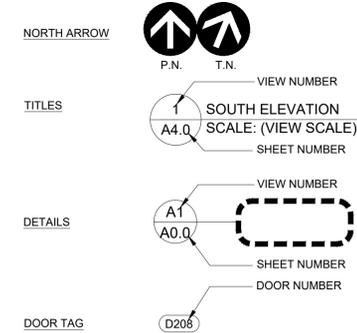
### 1.0 PROJECT TEAM

<b>CITY OF WINNIPEG</b>	<b>ASSETS AND PROJECT MANAGEMENT DEPARTMENT</b> MUNICIPAL ACCOMMODATIONS DIVISION 4-185 KING STREET, MB R3B 1J1
<b>ARCHITECT</b>	<b>f-BLOK ARCHITECTURE INC</b> 217-1460 CHEVRIER BLVD WINNIPEG MB R3T 1Y6 204-943-5087
<b>ELECTRICAL</b>	<b>KGS GROUP</b> 3RD FLOOR - 865 WAVERLEY ST WINNIPEG, MB, R3T 5P4 204-896-1209

### 3.0 ABBREVIATIONS

(±)	APPROXIMATE DIMENSION
ADO	AUTOMATIC DOOR OPERATOR
AFF	ABOVE FINISHED FLOOR
C/W	COMPLETE WITH
DEMO	DEMOLISH
DIM	DIMENSION
EX.	EXISTING
HDW	HARDWARE
NIC	NOT IN CONTRACT
MFR	MANUFACTURER
MAX	MAXIMUM
MIN	MINIMUM
P.N.	PROJECT NORTH
RO	ROUGH OPENING
T.N.	TRUE NORTH
W	WITH

### 3.0 DRAWING SYMBOLS AND LEGEND



### 4.0 GENERAL NOTES

- DRAWINGS NOT TO BE SCALED.
- DIMENSIONS ARE TAKEN TO GRID LINES, FACE OF STUD/ CONCRETE, OR EXTERIOR SHEATHING UNLESS OTHERWISE NOTED.
- INFORMATION CONCERNING EXISTING CONDITIONS IS TAKEN FROM EXISTING DRAWINGS/ SURVEY (AS APPLICABLE) AND IS ASSUMED CORRECT. SITE VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS.
- VISIT THE SITE AND SATISFY YOURSELF THAT ALL DIMENSIONS, ELEVATIONS, DATUMS AND DETAILED INFORMATION SHOWN ARE CORRECT PRIOR TO BIDDING THE WORK.
- VERIFY EXISTING SITE CONDITIONS AND REPORT ALL DISCREPANCIES OR OMISSIONS TO THE CONTRACT ADMINISTRATOR PRIOR TO CLOSE OF BID AND PRIOR TO COMMENCEMENT OF WORK.
- DRAWINGS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, SCHEDULES AND PROJECT MANUAL/ SPECIFICATION.
- REVIEW AND COORDINATE ALL DRAWINGS FOR OPENINGS THROUGH FLOORS, WALLS, CEILINGS AND ROOFS, INCLUDING BUT NOT LIMITED TO DUCT, PIPING AND ELECTRICAL RISERS.
- PERFORM WORK IN STRICT ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA AND ANY OTHER CODE OF PROVINCIAL APPLICATION AND LOCAL AUTHORITIES HAVING JURISDICTION. WHERE CONFLICTS ARISE, THE MORE STRINGENT REQUIREMENTS WILL BE APPLICABLE.
- PRODUCTS AND MATERIALS ARE TO BE USED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS, RECOMMENDATIONS AND LOCAL AUTHORITIES HAVING JURISDICTION.
- PATCH AND MAKE GOOD ALL EXISTING SURFACES ADJACENT/ BUTTING NEW CONSTRUCTION AND ALL EXISTING CONDITIONS AFFECTED BY THE CONSTRUCTION AND/OR DEMOLITION WORK, INCLUDING SITE AND LANDSCAPING WORK AS APPLICABLE.
- PROTECT ALL EXISTING SURFACES, SYSTEMS AND EQUIPMENT FROM DAMAGE, DEBRIS, AND DUST THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL EXISTING FIRE SEPARATIONS AND FIRE RESISTANCE RATINGS OF ASSEMBLIES ARE TO BE MAINTAINED UNLESS OTHERWISE STATED.
- NO REPRODUCTION OF THE DRAWINGS TO BE MADE WITHOUT THE WRITTEN CONSENT OF THE CITY OF WINNIPEG AND CONTRACT ADMINISTRATOR AND ALL REPRODUCTION MUST BEAR THE NAME OF THE CONTRACT ADMINISTRATOR.
- MAINTAIN EXITING AND EGRESS IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION THROUGHOUT THE COURSE OF THE WORK.
- CONFIRM COMPONENTS, MATERIALS, EQUIPMENT, ETC CAN BE DELIVERED TO REQUIRED LOCATIONS THROUGH NEW OR EXISTING OPENINGS AND CONDITIONS ON SITE.

### 3.0 DEMOLITION/RENOVATION GENERAL NOTES

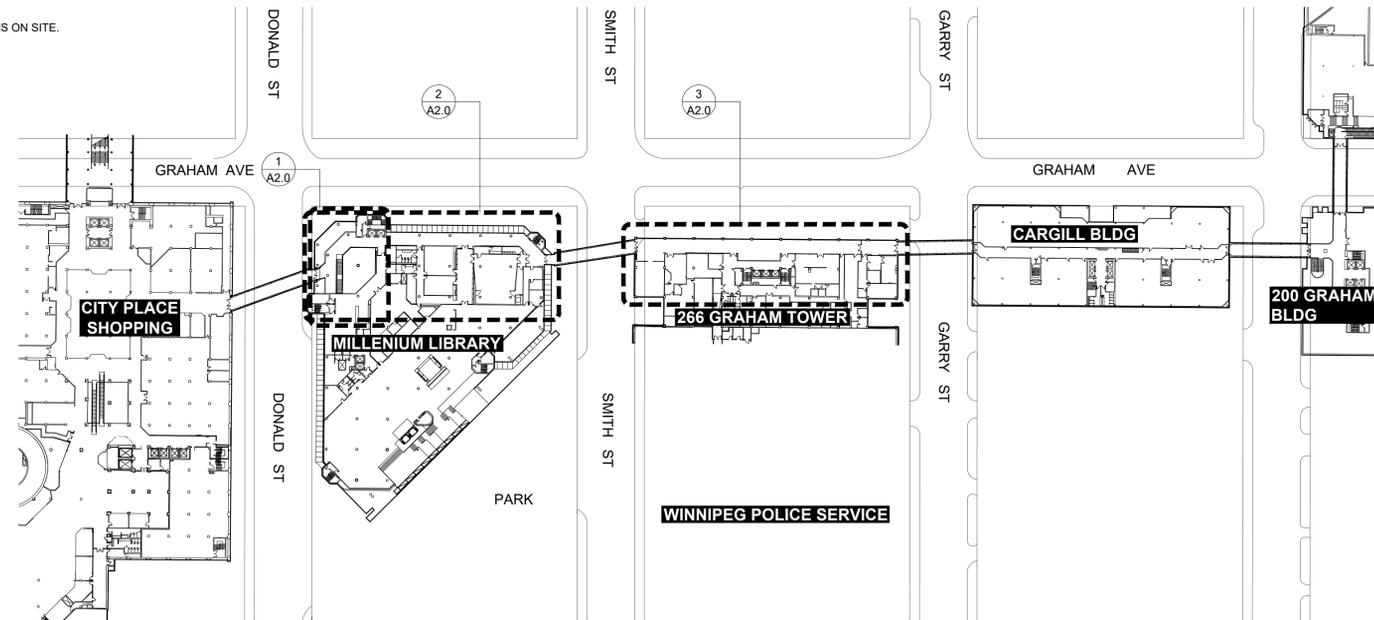
- REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. THE GENERAL CONTRACTOR IS DESIGNATED TO MAKE REMOVALS. DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. VERIFY WITH CITY OF WINNIPEG, THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
- ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE CITY OF WINNIPEG SHALL BECOME THE PROPERTY OF THE GENERAL CONTRACTOR.
- PATCH ALL FINISHES TO MATCH EXISTING. INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC... TO SATISFACTION OF CITY OF WINNIPEG PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED. TO BE APPROVED BY CITY OF WINNIPEG.

### 4.0 LISTS OF DRAWINGS

<b>ARCHITECTURAL</b>	
A1.0	PROJECT INFORMATION AND GENERAL REQUIREMENTS
A2.0	FLOOR PLANS: 215 (1F/2F) DONALD STREET, 266 (2F) GRAHAM AVE, CODE REVIEW AND NOTES
A3.0	DOOR SCHEDULE, ENLARGED PLANS, DOOR AND FRAME TYPES
<b>ELECTRICAL</b>	
E1.0	ELECTRICAL SYMBOL, LEGEND, DRAWING LIST AND GENERAL NOTES
E2.0	ELECTRICAL FLOOR PLANS



2 STREET VIEW  
A1.0



1 KEY PLAN  
A1.0 SCALE 1:1000



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CLIENT



CONTRACTOR

**FOR TENDER ONLY**  
NOT TO BE USED FOR CONSTRUCTION

#	DATE	REVISION/ISSUANCE
0	2022/02/22	ISSUED FOR TENDER

DATE ISSUED  
FEBRUARY 22, 2022

SEALS

f-BLOK architecture inc.

SHEET TITLE  
**PROJECT INFORMATION & GENERAL REQUIREMENTS**

SHEET NUMBER

**A1.0**

PROJECT # **2132**  
PROJECT NAME **WEATHER PROTECTED WALKWAY SYSTEM, ACCESSIBILITY UPGRADES GRAHAM AVE, WINNIPEG, MB**