ABBRI	EVIATIONS :	SYMBOL LE	GEND:
Q PL	CENTER LINE PLATE	WALL TYPES <	1
A.E.F.	AND ABOVE FINISHED FLOOR		V
ALUM. ANOD. @	ALUMINUM ANODIZED AT	WINDOW TYPES	В
ARCH. AT.	ARCHITECTURAL ACOUSTIC TILE		
AVB BLDG.	AIR / VAPOUR BARRIER BUILDING	NEW DOOR & SQ	
BLKG. BRG.	BLOCKING BEARING	DOOR NUMBERS	р
B.S. B. TO B.	BOTH SIDES BACK TO BACK	KEY NOTES	1
C.B. C.G.	CATCH BASIN CORNER GUARD	RETNOTES [······································
C.J. CLG. COL.	CONTROL JOINT CEILING COLUMN	ROOF TYPE	1)
CONC. CONN.	CONCRETE CONNECTION	NOOF TIPE	
CONT. CORR. C/W	CONTINUOUS CORRIDOR COMPLETE WITH	T 000 TVD5	2/
ø	DIAMETER OR ROUND	FLOOR TYPE	\vee
DIM. DN. DRWG.	DIMENSION DOWN DRAWING		
DTL.	DETAIL		
EL. E.W. EA.	ELEVATION EACH WAY EACH	DING SECTIONS	
ELEC. EQ.	ELECTRICAL BOIL EQUAL	DING SECTIONS	
EQUIP. EXIST. E.J.	EQUIPMENT EXISTING EXPANSION JOINT	4	SECTION NUMBERS
EXT.	EXTERIOR	A2 A3	SHEET NO. ON WHICH SECTION IS DRAWN
FDN. F.E. F.E.J.	FOUNDATION FIRE EXTINGUISHER FLOOR EXPANSION JOINT		SHEET NO. WHERE SEC IS TAKEN FROM
FIN. F.D.	FINISHED FLOOR DRAIN		
FFD. F.F. FLEX.	FUNNEL DRAIN FINISHED FACE FLEXIBLE		
F.O. F.R.R.	FACE OF FIRE RESISTANCE RATING	SECTIONS	DETAILS
GA. G.W.B.	GAUGE GYPSUM WALLBOARD	4	$\overbrace{4}$
G.C. GL.	GENERAL CONTRACTOR GLASS	A2 A3	A2 A3
H. H.M.	HEIGHT HOLLOW METAL		
HORIZ. HR. H.S.D.G.	HORIZONTAL HOUR HERMETICALLY SEALED DOUBLE GLAZING		
HSS H.S.T.G.	HOLLOW STEEL SECTION HERMETICALLY SEALED TRIPLE GLAZING	TITLES	
HT. H.V.A.C.	HEIGHT HEATING VENTILATING, AIR CONDITIONING		CTION
I.D. I.F.	INSIDE DIAMETER INSIDE FACE	A2 A3	
INSUL. INT.	INSULATION INTERIOR		
L. m	LENGTH METRE	INTERIOR ELEVA	TIONS
mm M.B.	MILLIMETRE MOISTURE BARRIER		ELEVATION DIRI
MAT'L. MAX. MDF.	MATERIAL MAXIMUM MEDIUM DENSITY FIBREBOARD	1-	AND NUMBER ELEVATION SER
MECH. MET.	MECHANICAL METAL	A	LETTER
MIN. MISC. M.O.	MINIMUM MISCELLANEOUS MASONRY OPENING	4 A5 A9 2	SHEET NO. ON
NOM. #	NOMINAL NUMBER OR POUND	3	ELEVATION IS D SHEET NO. WHE
N.I.C. NO.	NOT IN CONTRACT NUMBER		ROOM IS IDENT IN PLAN
N.T.S. O.C.	NOT TO SCALE ON CENTRE		
O.D. OPN'G.	OUTSIDE DIAMETER OPENING	FLOOR CONSTRU	ICTION ELEVATIONS
O.H. OPP.	OVERHEAD OPPOSITE	TOP OF BEARIN	IG 🛦
P.LAM. PLBG.	PLASTIC LAMINATE PLUMBING	ELEV. 100'-	
PREFIN. P.T. PTD.	PREFINISH PRESSURE TREATED PAINTED		
P.L.	PROPERTY LINE		
R., RAD. R.D. REINF.	RADIUS ROOF DRAIN REINFORCED		
REQ'D. REV. R.O.	REQUIRED REVISION, REVISED ROUGH OPENING		
SIM.	SIMILAR		
SPC'D. SQ. STD.	SPECIFIED SQUARE STANDARD		·
STL. STRUCT.	STEEL STRUCTURAL		
SUSP. TEMP.	SUSPENDED TEMPERED		
T.G. T.O.	TEMPERED GLASS TOP OF		
TYP. U/N	TYPICAL UNLESS OTHERWISE NOTED		
U/S	UNDER SIDE		
VERT.	VERTICAL WIDE OR WIDTH		
W/ WD.	WITH WOOD		

u u	Item	Manitoba Building Code	~~~			·
	Item	Project Description	Tropulario de la Harrista de H	ekternik kunsus finne miner de referendere den ein ein de franzen annen Artikaten era blev eit S	√	Ne
						Ad
				Change of Use	***************************************	Re Alt
	1.1 Fi	re Protection, Occupant \$	Safety and			
	MBC S	Section 3.1 General	This contract and the second s		udisaya kalanda qarkisaya digi ya 12.46 mak 1970 ya 1	aperator construents
	a	Major Occupancy Classificati	-	Group D		~~~
	b	Other Intended Occupancy G	aroup(S)	N/A		
	С	Building Area (m2)			·	
	Sanga-panal			Existing 88 New		ı
	1800 (2000)		Name and Address of the Party o	38 Total	•	
	d	Height of Building	4.255	m.		
		Number of Storeys Number of Streets	1	Above Grade	N/A	_Be
,	e	Sprinkler System Proposed	1			en
		Spirition System i Toposed			√	no
		Standpipe Required	Processor and the second se			Ye
	f	Firewalls Utilized		Yes	<u>√</u>	No
	9	High Building	Variance and the second			Ye
	h	Alternate Solutions				Ye
	Į i	Occupant Load Based On 1st Floor	***************************************	m2/person Occupancy	√ 18	De
•	MBC	Section 3.2 Building Fire Saf	etv	Occupaticy	10	OU.
		Building Size and Constructi	-		······	20000000000000000000000000000000000000
	а	Building Classification		Group D, Busir	ess and	Pers
	b	Permitted Construction		Combustible		No
		Actual Construciton	grice construction of the	Combustible	***********	No
	С	Required Fire Resistance Rating		lorizontal Assemb FRR (Hours)	lies	
INUMBERS		(FRR)	Floor ab	ove basement	N/A	_Hr
IO. ON WHICH			Floor		N/A	_ Hr
N IS DRAWN			Roof Mezzan	ine	N/A N/A	_ Hr: Hr:
WHERE SECTION ROM						
			RATE AND A STATE A	FRR of Supporting Members	g	
	and the state of t		Floor		N/A	_Hr
	Management of the Control of the Con		Roof Mezzan	ine	N/A N/A	_ Hr: Hr:
		Fine Diagles				
ILS	d	Fire Blocks	N/A	Attic	N/A	Cr
North-American	a a	Spatial Separation Spatial Construction of Exter	ior Walk			
A		Wall	Area	L.D.	L/H	Pe
(4)	talendring and a second		of EBF	(m)	or H/L	Ma Op
A2 A3	echemosophics and the second	North West	(m2) 38.75	8		+
	ag in commence	North East	31.65	8		1
	valence che	South East South West	38.75 21.41	8 8		+
		Mezzanines and Opening th	The same of the sa			
	а	Open Mezzanine (40%) Enclosed Mezzanine (10%)			anne de la companya d	_ Ye Ye
		Interconnected Floor Space				_ Ye
		Section 3.3 Safety Within Flo	or Areas			
	a h	Suite Separations Janitor Room		Occupancy	Busin	ess
	m	Storage of Dangerous Goods	\$			Ye
	n	Flammable and Combustible				Ye
•	0	Other Hazardous Processes Additional Occupancy Requir	emente		-	Ye
	MBC S	Section 3.4 Exits	Omento.			***************************************
	a a	Minimum two exits	Vinna) na vozi e za razen ez en pina e n ez en ez en ez en		1	Re
					N 1 / A	

- ELEVATION DIRECTION

SHEET NO. ON WHICH

ELEVATION IS DRAWN SHEET NO. WHERE

ROOM IS IDENTIFIED

PROJECT DATA

Minimum Site Area

Maximum Building Height

Building Areas Proposed

4345 WAVERLEY STREET

AR - AGRICULTURAL RESTRICTED

38.1 m

7.62 m

7.62 m

8,094 m sq.

Existing parking to remain.

OBSELETE ONE IN THE PREVIOUSLY ESTABLISHED LA BARRIERE PARK.

PROPOSAL SUMMARY CONSTRUCT A NEW PUBLIC WASHROOM TO REPLACE THE EXISTING

198+ m

150+ m

150+ m

840,000 m sq.

88 m² building

1 Storey

DESC OT60/65-NO

ROLL NO: 292400.000

- ELEVATION SERIES

Protection, Occupant Sion 3.1 General ajor Occupancy Classification Intended Occupancy Guiding Area (m2) sight of Building Imper of Storeys Imper of Streets Intended Occupancy Guiding Required ewalls Utilized gh Building ernate Solutions iccupant Load Based On It Floor Ition 3.2 Building Fire Safding Size and Construction idding Classification	8 8 8 4.255 1 1 1 ety	Change of Use Accessibility Group D N/A Existing 8 New 8 Total m Above Grade Yes m2/person	N/A V	Below entire to not req Yes	Grade					9.10.2. 9.10.2. Division A, 1.4
tion 3.1 General ajor Occupancy Classification ther Intended Occupancy General diding Area (m2) sight of Building sight of Storeys simber of Storeys simber of Streets strinkler System Proposed andpipe Required ewalls Utilized gh Building ernate Solutions scupant Load Based On t Floor tion 3.2 Building Fire Saf dding Size and Construction	8 8 8 4.255 1 1 1 ety	Accessibility Group D N/A Existing 8 New 8 Total m Above Grade Yes		Below entire be not req	Grade building juired					9.10.2.
tion 3.1 General ajor Occupancy Classification ther Intended Occupancy General diding Area (m2) sight of Building sight of Storeys simber of Storeys simber of Streets strinkler System Proposed andpipe Required ewalls Utilized gh Building ernate Solutions scupant Load Based On t Floor tion 3.2 Building Fire Saf dding Size and Construction	8 8 8 4.255 1 1 1 ety	Group D N/A Existing 8 New 7 Total MADOVE Grade Yes		entire to not req Yes	building Juired					
her Intended Occupancy G ilding Area (m2) iight of Building imber of Storeys imber of Streets rinkler System Proposed andpipe Required ewalls Utilized gh Building ernate Solutions ccupant Load Based On t Floor tion 3.2 Building Fire Saf	8 8 4.255 1 1 1 ety	N/A Existing New Total M Above Grade	N/A	entire to not req Yes	building Juired					9.10.2.
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right of Building amber of Storeys amber of Streets rinkler System Proposed andpipe Required ewalls Utilized gh Building ernate Solutions ecupant Load Based On t Floor tion 3.2 Building Fire Saf	8 4.255 1 1	Existing 8 New 18 Total m Above Grade Yes		entire to not req Yes	building Juired	-				Division A, 1.4
right of Building amber of Storeys amber of Streets rinkler System Proposed andpipe Required ewalls Utilized gh Building ernate Solutions ecupant Load Based On t Floor tion 3.2 Building Fire Saf	8 4.255 1 1	8 New 18 Total m Above Grade Yes		entire to not req Yes	building Juired	-				
amber of Storeys amber of Streets rinkler System Proposed andpipe Required ewalls Utilized gh Building ernate Solutions ecupant Load Based On t Floor tion 3.2 Building Fire Saf	8 4.255 1 1	8 Total m Above Grade Yes	N/A	entire to not req Yes	building Juired	-				
amber of Storeys amber of Streets rinkler System Proposed andpipe Required ewalls Utilized gh Building ernate Solutions ecupant Load Based On t Floor tion 3.2 Building Fire Saf	4.255 1 1	m Above Grade		entire to not req Yes	building Juired					
amber of Storeys amber of Streets rinkler System Proposed andpipe Required ewalls Utilized gh Building ernate Solutions ecupant Load Based On t Floor tion 3.2 Building Fire Saf	1 1	Above Grade Yes	N/A √ √	entire to not req Yes	building Juired	-				
rinkler System Proposed andpipe Required ewalls Utilized gh Building ernate Solutions cupant Load Based On t Floor tion 3.2 Building Fire Saf	ety			not req Yes	uired	**************************************	Market for plant and account on the supplement of the supplement			
andpipe Required ewalls Utilized gh Building ernate Solutions ecupant Load Based On t Floor tion 3.2 Building Fire Saf	-			not req Yes	uired					
ewalls Utilized gh Building ernate Solutions cupant Load Based On t Floor tion 3.2 Building Fire Saf	-			Yes _		-		1		
gh Building ernate Solutions ccupant Load Based On t Floor tion 3.2 Building Fire Saf	-			No		No				
ernate Solutions ccupant Load Based On t Floor tion 3.2 Building Fire Saf	-	m2/person		NO		Hrs Ratin	Į(
cupant Load Based On t Floor tion 3.2 Building Fire Saf ding Size and Constructi	-	m2/person		Yes	√	No			alter of the contact copy of the benefit in the copy of the copy o	
t Floor tion 3.2 Building Fire Saf ding Size and Constructi	-	m2/person		Yes _	√	No				
tion 3.2 Building Fire Saf	-				of Buildi					9.9.1.3.
ding Size and Constructi	-	Occupancy	18	Occupa	ant Load					
		to Occupancy								
	OII IIOIAIIVO	Group D, Busin	ness and	Personal	I Services					9.10.2.1.
				nakan manakan kanan						
rmitted Construction tual Construciton	Market Market Common Co	Combustible	· hammy brown the same		ombustible ombustible		_Both Both			
	 Г ц	Combustible	lies	NOTI-CO	MIDUSUUM		 ,		Markey and a first day of any day and a subject of production of the subject of t	9.10.8.1.
sistance Rating		FRR (Hours)	nics							9.10.6.1.
R)	1	ove basement		{						
	1		***************************************	- 1						
	1	ine	N/A	Hrs						
		ERR of Supportin				Listed Desig	n No	-		
		Members	ıy							
	Floor		N/A	_Hrs						
		ine	****************	_Hrs						
a Blocks	N/A	۸₩ia		Crowle					Anno maratina and a hamila and a said a	
	IN/A	AUC	IVA	Clawis	pace		***************************************		***************************************	
atial Construction of Exter										
all	ž.	1	1	1		1	ł	ł	1	Non-Com Construction
	O LD	(117)	H/L	3		Openings	(Flours)	Construction	Non-Comb	Non-Com
arth West	(m2)	8		100	~~~~	100	 	 	Cladding	Cladding
orth East	31.65	8		100		100	0	V		
		8 8	 				0	 		
zanines and Opening th		r Assemblies							American de la composition de la compo Composition de la composition del composition de la composition	
			tentronis fried in street 40 and ten							
erconnected Floor Space			***************************************		√	_ No				
	or Areas		· · · · · · · · · · · · · · · · · · ·							
•		Occupancy	Busin	ess Serv	vices	-				
	3			Yes	√	No	1115			
ammable and Combustible				Yes _	√.	_No				
her Hazardous Processes				Yes _	√	_No				
	ements								landa artika ziya giliya sa sarka ilan karinga markir sarka da upasa ili sa yan dinayaka da sarka da ila	
nimum two exits			1	Require	ed	2 P	rovided			
			N/A							
•	.)				Diagonal					P. Linguistan
avei Distance it Separation			max 30	111		***************************************				
it Lobby										
it Capacity - Stair	N/A_	mm width		mm / p	erson					
if Capacity - Door	1065	mm width	6.1	mm/p	erson					
imber of persons / exit doc	Printegan Carry Ca				····	174				
rizontal Exit its Scheme Provided (opti	nnal)			Yes Yes	√	_No No				
ditional Information	onun)			100						1
Sentence of the second of the	e Blocks tial Separation atial Construction of External atial	Floor ab Floor Roof Mezzani Blocks N/A Ital Separation atial Construction of Exterior Walk Mezzani Ith West 38.75 Ith East 31.65 Ith Eas	Sistance Rating RR) FRR (Hours) Floor above basement Floor Roof Mezzanine FRR of Supporting Members Floor Roof Mezzanine FRR of Supporting Members Floor Roof Mezzanine FRR of Supporting Members Floor Roof Mezzanine E Blocks N/A Attic Itial Separation atial Construction of Exterior Walls Itial Separation atial Construction of Exterior Walls Itial Separation It	FRR (Hours) Floor above basement N/A Floor N/A Roof N/A N/A Mezzanine N/A N/A Mezzanine N/A N/A Mezzanine N/A N/A N/A Mezzanine Mezzanine N/A Mezzanine Mezzanine	FRR (Hours) FRR (Hours) FRR (Hours) Floor above basement N/A Hrs Floor N/A Hrs Floor N/A Hrs Mezzanine N/A Hrs Mezzanine N/A Hrs Mezzanine N/A Hrs FRR of Supporting Members FRR of Mezzanine N/A Hrs Mezzanine N/A Mezzanine	FRR (Hours)	FRR (Hours)	FRR (Hours)	FRR (Hours) Floor above basement FRR (Hours) Floor above basement Floor NIA Hrs Floor Hrs Floor Hrs Floor NIA Hrs Floor Mezzanine Members Floor Members Floor FRR of Supporting Members Floor NIA Hrs Floor Members Floor NIA Hrs Mezzanine Mezzan	FFR (Hours FIR (Hours NI/A Hrs Hrs

N/A - towel dispenser yes N/A - mirror Shower - clearance, accessibility N/A hinged seat yes N/A - grab bars yes N/A - shelf Ramps and Stairs - clearances - guards - handrails N/A - detectable surfaces yes N/A Assisted Listening Devices √ N/A Counters yes **Building Code Electrical Safety Systems** Yes √ No Fire Alarm & Detection System Required Yes ___ No Yes <u>√</u> No Emergency Lighting Required Exit Signage Required Fire Paramedic Service - Provisions for Fire Fighting Access for fire fighting provided to basement, above grade storeys and roof Access route for firefighters, including turnaround Location of Fire Hydrants Shown Yes √ No Standpipe System Required Sprinkler System Connections Indicated Yes <u>√</u> Standpipe System Connections Indicated Other Conditions Additional Items Yes ___ No Yes √ No Fire extinguishers shown AED device shown **Equivalents Proposed** Yes <u>√</u> No √ Yes __ N/A MECB Compliance **WALL TYPE GENERAL NOTES:** 1. ALL RATED WALLS & SOUND WALLS TO EXTEND TO U/S OF ROOF ASSEMBLY STRUCTURES AND ALL PENETRATIONS ARE TO BE SEALED TO MAINTAIN THE INTERPRETATION UNLESS OTHERWISE NOTED. 2. ALL EXPOSED CONCRETE BLOCK, GYPSUM WALLBOARD, WOOD AND MISCELLANEOUS METAL IN OCCUPIED AREAS TO BE PAINTED UNLESS SPECIFIED OTHERWISE. 3. SEE STRUCTURAL SCHEDULES FOR ALL REQUIRED LINTELS AND SUPPORTS. 4. FURR OUT WALLS AS REQUIRED FOR RECESSED OR SEMI-RECESSED ELECTRICAL PANELS, FIRE EXTINGUISHERS, FORCE FLOW UNITS, ETC. TO FINISH CEILING. COORDINATE LOCATIONS AND DEPTHS WITH MECHANICAL/ELECTRICAL DRAWINGS AND OTHER TRADES. CARRY RATING BEHIND UNIT WHEN PENETRATING RATED WALL ASSEMBLIES. 5. GENERAL CONTRACTOR TO CO-ORDINATE AND PROVIDE ALL SOLID BLOCKING WITHIN THE WALL AND CEILING AREAS TO SUPPORT SURFACE MOUNTED FIXTURES AND FITTINGS INCLUDING, BUT NOT LIMITED TO APPLIANCES, HANDRAILS, AND SIGNS, IN CONTRACT AS WELL AS FOR N.I.C. ITEMS IN COORDINATION WITH THE CITY.

MBC Section 3.7 Washroom Fixtures

MBC Section 3.8 Barrier Free Design

- power door operator

- vestibule clearances Barrier Free Path of Travel

- universal toilet room

- water closet clearances

power operator

- door requirements

- urinals, grab bars

- soap dispenser

- lavatories, clearances

- flooring warning surfaces

- clear width

Washrooms

- grab bars

coat hook

- signage

Occupant load/sex

Residential Occupancy - 1 washroom/suite

Water Closet

Water Closet

Lavatory

Lavatory

	ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE CONSULTANT. NO REPRODUCTIONS MAY BE MADE WITHOUT THE CONSENT OF THE CONSULTANT AND
	ALL REPRODUCTIONS MUST BEAR THE NAME OF THE CONSULTANT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS NOTED ON THE DRAWINGS WITH THE CONDITIONS ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY ERRORS OR OMISSIONS TO THE ENGINEER FOR ADJUSTMENTS.
	REPORTING ANY ERRORS OR OMISSIONS TO THE ENGINEER FOR ADJUSTMENTS. THIS DRAWING SHALL NOT BE SCALED.
A0.1 A1.1 A2.1 A3.1 A4.1 A4.2	OF DRAWINGS BUILDING CODE REVIEW, LIST OF DRAWINGS KEY PLAN, SITE PLAN FLOOR PLANS EXTERIOR ELEVATIONS BUILDING SECTIONS, SCHEDULES WALL SECTIONS
A4.3 A5.1	WALL SECTIONS REFLECTED CEILING PLAN
\$1.1 \$2.1 \$2.2 \$3.1 \$4.1 \$4.2	NOTES FOUNDATION/MAIN FLOOR PLAN ROOF FRAMING PLAN TYPICAL SECTIONS AND DETAILS FULL HEIGHT SECTIONS FULL HEIGHT SECTIONS
M1.0 M2.0 M3.0 M3.1 M3.2	MECHANICAL - MAIN FLOOR PLAN - PLUMBING MECHANICAL - MAIN FLOOR PLAN - HVAC MECHANICAL - SPECIFICATION MECHANICAL - SPECIFICATION MECHANICAL - SPECIFICATION

E1.0 ELECTRICAL - LAYOUT E2.0 ELECTRICAL - SITE PLAN & SCHEDULES

Yes<u>√</u>No

Provided

Provided

Provided

Provided

N/A

N/A

N/A

N/A

3.8.3.3.(1)

3.8.3.3.(11)

3.8.3.3.(5)

3.8.3.8

3.8.3.3

3.8.3.1.

3.8.3.10.

3.8.3.11.

3.8.3.11.

3.8.3.11.

3.8.3.11.

3.8.3.13.

3.8.3.13.

3.8.3.13.

3.8.3.13.

3.8.3.4., 3.4

3.8.3.4., 3.4

3.8.3.4., 3.4

3.8.3.4., 3.4

3.8.3.14., 3.8..15.

3.8.3.7

3.8.2.3., 3.8.3.12.

3.8.3.8., 3.8.3.12.

3.8.3.8., 3.8.3.12.

3.8.1.3.

3.8.1.3.

/2=

Required

Required

Required

Required

yes

GENERAL NOTES:

1. THE FOLLOWING NOTES ARE APPLICABLE TO ALL DRAWINGS AND WORK WITHIN THE SCOPE OF THE PROJECT. 2. THESE DRAWINGS SHALL NOT BE SCALED. 3. ALL WORK IS TO BE IN COMPLIANCE WITH THE LATEST EDITION OF THE MANITOBA BUILDING CODE, INCLUDING ALL AMENDMENTS.

4. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.

5. CONTRACTOR TO INVESTIGATE LOCAL CONDITIONS AND ARRANGE WITH CITY TO EXAMINE SITE AND RELATED WORK.

6. CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS AND REPORT ALL DISCREPANCIES TO THE CONTRACT ADMINISTRATOR PRIOR TO COMMENCEMENT

7. CONTRACTOR SHALL SATISFY THEMSELVES THAT ALL DIMENSIONS, DATUMS AND DETAILED INFORMATION SHOWN ARE CORRECT PRIOR TO COMMENCING WORK.

8. COMPENSATION WILL NOT BE MADE BECAUSE OF FAILURE TO MAKE PROPER SITE INVESTIGATIONS & REPORTING ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR PRIOR TO BID CLOSING OR TO UNDERSTAND FULL NATURE OF WORK.

9. DIMENSIONS ARE TO GRID LINES, FACE OF STUD, EXISTING CONCRETE OR CONCRETE BLOCK UNLESS OTHERWISE NOTED.

10. CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR PRIOR TO COMMENCEMENT OF WORK.

11. CONTRACTOR TO REVIEW AND COORDINATE ALL ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL OPENINGS THROUGH FLOOR, WALLS AND ROOF.

12. ALL PLYWOOD OR WOOD BLOCKING USED BELOW OR WITHIN 150 mm OF GRADE TO BE PRESSURE TREATED. 13. CONTRACTOR TO REMOVE ALL DEMOLITION ITEMS FROM SITE UNLESS OTHERWISE INSTRUCTED BY CITY, OR INDICATED ON DRAWINGS.

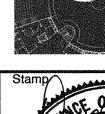
14. CONTRACTOR TO REPLACE ANY ITEMS TEMPORARILY MOVED IN THE COURSE OF CONSTRUCTION WORK. 15. CONTRACTOR TO REPAIR ANY ITEMS DAMAGED DURING THE COURSE OF CONSTRUCTION WORK.

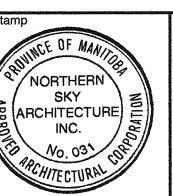


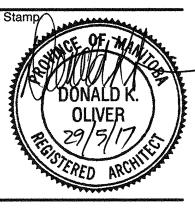
May 30, 2017 Issued for Construction Revision

Northern Sky Architecture Inc.

100-128 James Avenue Winnipeg, Manitoba, Canada R3B 0N8 contact@nsai.ca Fax 204.956.7979 204.943.6767







drawing title

La Barriere Park Washroom Replacement

LaBarriere Park, Manitoba

BUILDING CODE REVIEW, LIST OF DRAWINGS							
ale	as noted	designed by	kbb				
ate	May, 2017	drawn by	kdw				
oject no.	337-2017	reviewed by	dko				
ference no.	16.235	sheet A0.1		REV.			