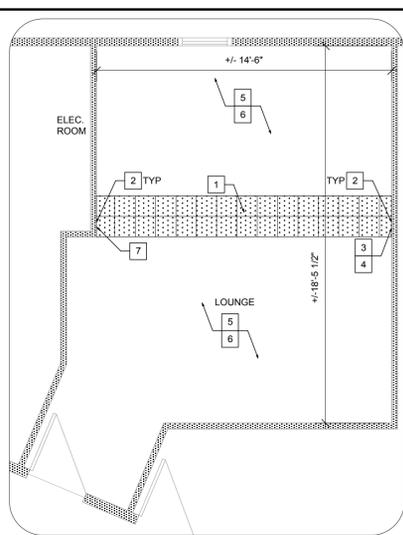


**DEMOLITION KEYNOTES**

- 1 DEMOLISH WALL IN ITS ENTIRETY - REFER TO ELEC FOR ELECTRICAL DEMOLITION
- 2 DEMOLISH DOOR AND FRAME
- 3 DEMOLISH WINDOW AND FRAME
- 4 EXISTING WALL TO REMAIN
- 5 EXISTING DOOR AND FRAME TO REMAIN
- 6 EXISTING WINDOW AND FRAME TO REMAIN
- 7 DISCONNECT AND RELOCATE ALL ELEC. TO SUIT NEW CONSTRUCTION - REFER TO ELEC.
- 8 REMOVE FLOORING TILES ADJACENT TO DEMOLISHED WALL AFFECTED BY CONSTRUCTION (DEMOLISH ALL PARTIAL WIDTH TILES). PREPARE FLOOR FOR NEW FLOORING.

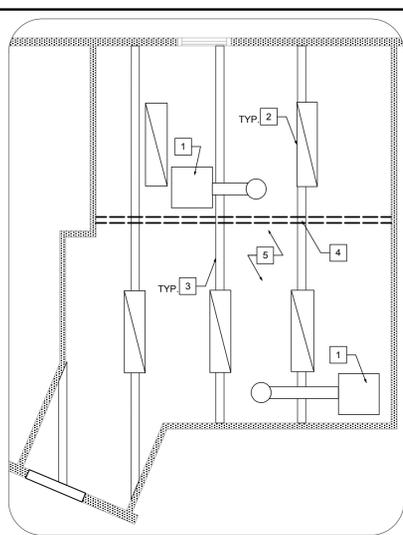
**LEGEND**

- EXISTING WALL
- DEMOLISHED WALL
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE DEMOLISHED



**RENOVATION PLAN KEYNOTES**

- 1 PROVIDE NEW FLOORING TO MATCH EXISTING - REFER TO SPEC.
- 2 PROVIDE NEW GWB IN LOCATION OF DEMOLISHED WALL. PATCH WALL AND MAKE GOOD PAINT
- 3 LOCATION OF RELOCATED RECEPTACLE AT 60" A.F.F. - REFER TO ELEC.
- 4 PROVIDE MIN. 3/4" PLYWOOD BLOCKING AS REQ'D FOR FUTURE WALL MOUNTED TV
- 5 PROVIDE NEW RUBBER BASE THROUGHOUT ENTIRE ROOM - COLOUR TO MATCH EXISTING
- 6 PATCH GWB AND MAKE GOOD ALL WALLS THROUGHOUT ENTIRE ROOM. PAINT ALL WALLS THROUGHOUT ROOM - (BENJAMIN MOORE - ULTRA WHITE CC10)
- 7 PROVIDE FIRESTOPPING IN WALL AS REQUIRED TO MAINTAIN 1 HR FIRE



**REFLECTED CEILING PLAN KEYNOTES**

- 1 EXISTING MECHANICAL TO REMAIN
- 2 EXISTING LIGHT FIXTURES TO REMAIN - REFER TO ELEC. FOR REWIRING
- 3 EXISTING STRUCTURE
- 4 CONTRACTOR TO CLEAN DEBRIS OF DEMOLISHED WALL FROM STRUCTURE AND U/S CEILING. PATCH AND MAKE GOOD. PAINT AREAS AFFECTED BY CONSTRUCTION TO MATCH EXISTING CEILING
- 5 EXISTING METAL ROOF TO REMAIN

REFER TO SEPARATE PRICE NO. 1 FOR WORK ASSOCIATED IN THE LOUNGE

**MULTI PURPOSE ROOM INTERIOR ELEVATION KEYNOTES**

- 1 PATCH AND REPAIR DAMAGED GWB, PAINT (BENJAMIN MOORE - ULTRA WHITE CC10) - REFER TO SPEC.
- 2 PAINT DOORS AND FRAMES INSIDE ROOM ONLY (BENJAMIN MOORE - DUXBURY GRAY HC-163)
- 3 PAINT EXPOSED STEEL COLUMNS (BENJAMIN MOORE - ULTRA WHITE CC10)
- 4 DOOR SIGNAGE TO BE REMOVED STORED AND REINSTALLED AFTER PAINTING
- 5 STEEL SHUTTER TO REMAIN
- 6 BASKETBALL EQUIPMENT TO REMAIN
- 7 PROTECTIVE PLASTIC PANELS TO REMAIN. CONTRACTOR TO CLEAN AND MAKE NEW
- 8 HORIZONTAL GIRT PAINT TO MATCH WALLS (BENJAMIN MOORE - ULTRA WHITE CC10)
- 9 NOT USED
- 10 PAINT DOOR AND FRAMES BOTH SIDES (BENJAMIN MOORE - DUXBURY GRAY HC-163)
- 11 PAINT WINDOW FRAMES BOTH SIDES (BENJAMIN MOORE - DUXBURY GRAY HC-163)
- 12 EXISTING CCTV CAMERAS TO REMAIN
- 13 SUPPORT BRACKET FOR BASKETBALL EQUIPMENT - PAINT TO MATCH WALLS (BENJAMIN MOORE - ULTRA WHITE CC10)
- 14 EXISTING ROOF STRUCTURE TO REMAIN
- 15 DEMOLISH EXISTING PROTECTIVE LIGHT CAGE AND PROVIDE NEW TO MATCH
- 16 EXISTING CURTAIN TO REMAIN. PROTECT DURING PAINTING

REFER TO SEPARATE PRICE NO. 2 FOR WORK ASSOCIATED IN THE MULTI-PURPOSE ROOM

**MULTI PURPOSE ROOM PAINT LEGEND**

- AREA TO BE PAINTED COLOUR (BENJAMIN MOORE - ULTRA WHITE CC10) - REFER TO SPEC.
- AREA TO BE PAINTED COLOUR (BENJAMIN MOORE - DUXBURY GRAY HC-163) - REFER TO SPEC.

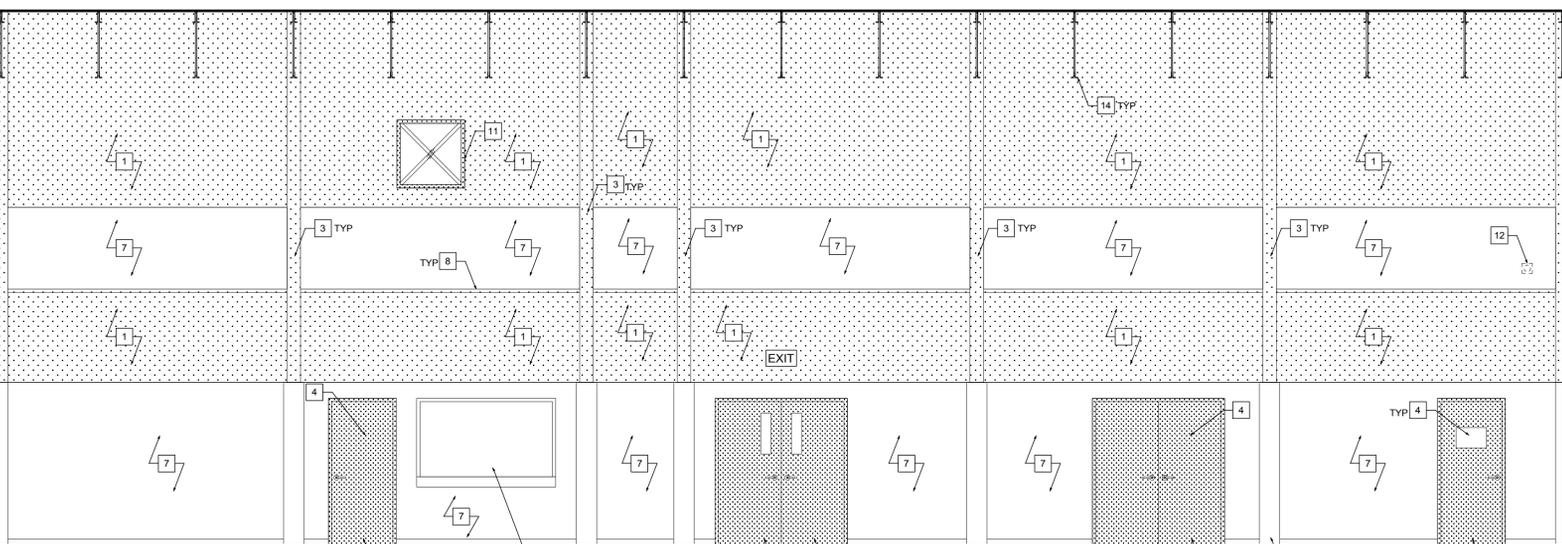
**GENERAL NOTES:**

1. PAINT ALL EXPOSED CONDUIT TO MATCH WALLS (BENJAMIN MOORE - ULTRA WHITE CC10)
2. REMOVE ALL SIGNAGE PRIOR TO PAINT. REINSTALL
3. PROTECT FLOOR, PLASTIC PANELS AND ALL SURFACES PRIOR TO PAINTING

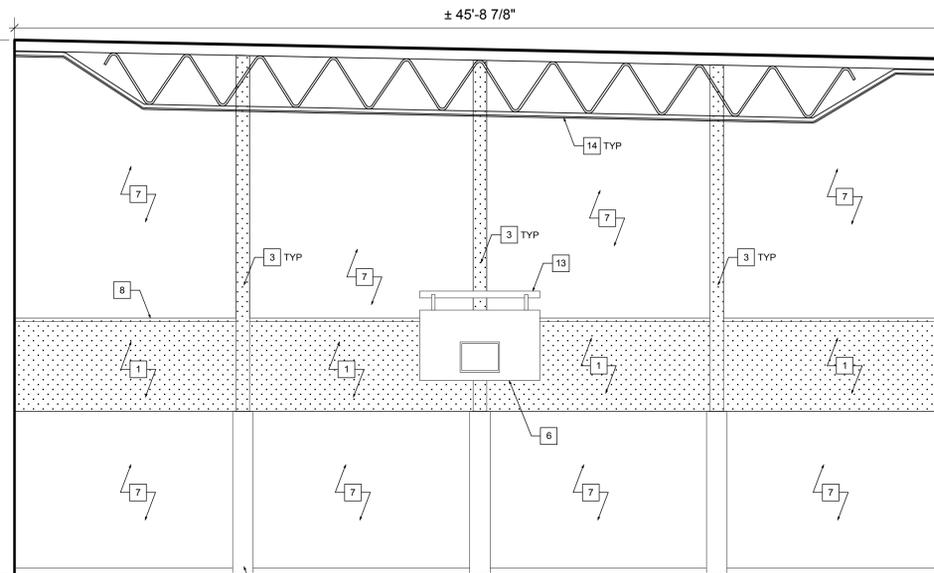
1 LOUNGE DEMOLITION PLAN Scale 1:50

2 LOUNGE RENOVATION PLAN Scale 1:50

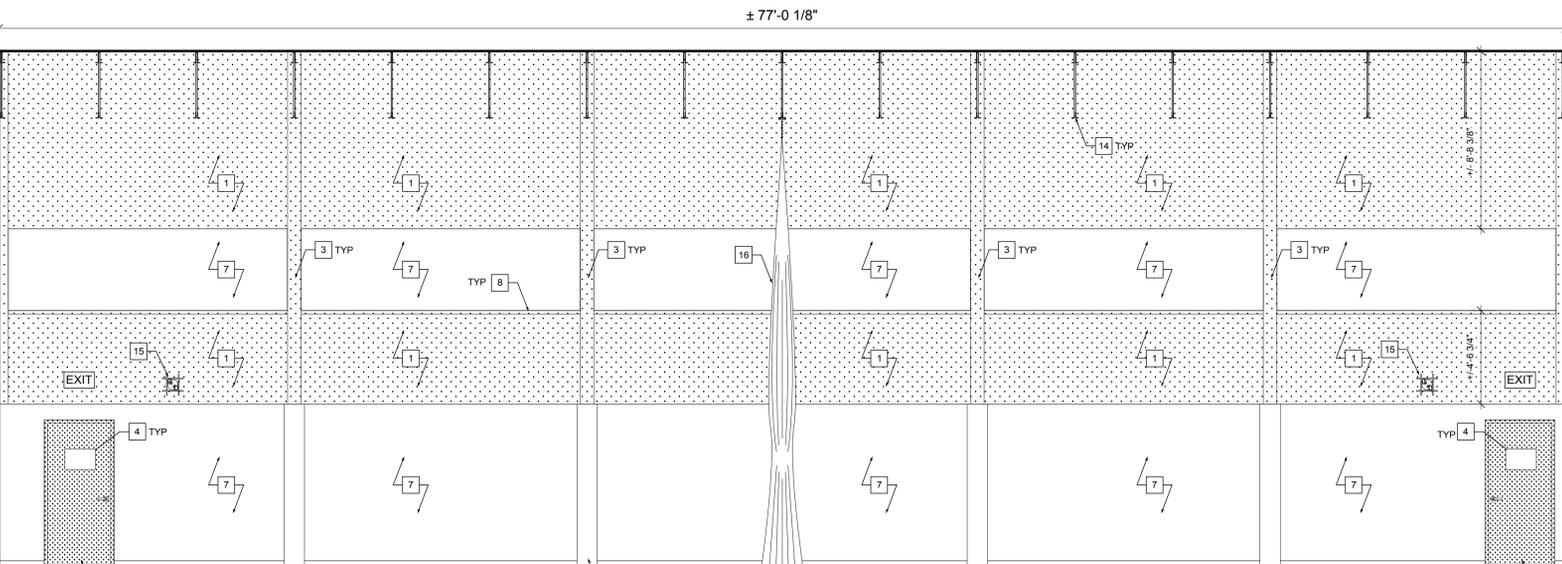
3 LOUNGE REFLECTED CEILING PLAN Scale 1:50



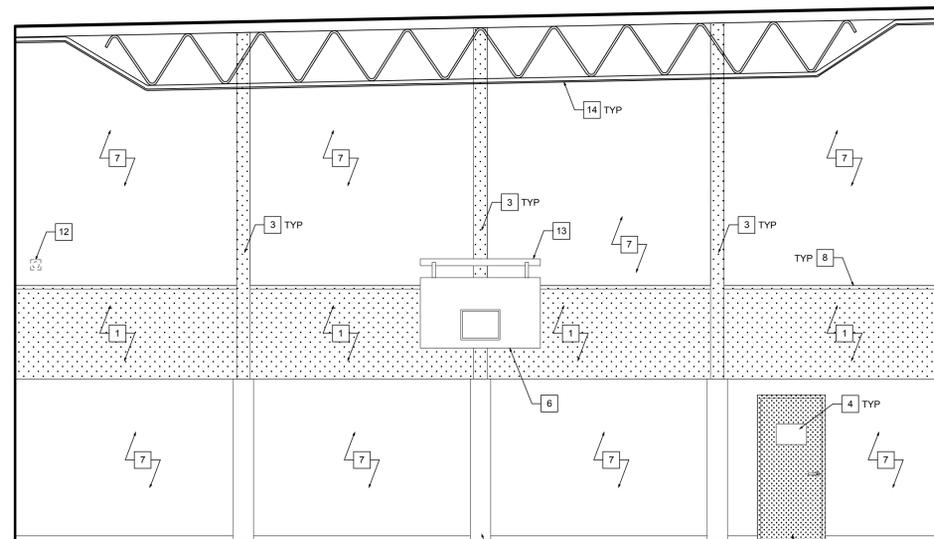
4 MPR ROOM EAST WALL ELEVATION Scale 1:50



5 MPR ROOM SOUTH WALL ELEVATION Scale 1:50



6 MPR ROOM WEST WALL ELEVATION Scale 1:50



7 MPR ROOM NORTH WALL ELEVATION Scale 1:50

5	YY.MM.DD	-
4	YY.MM.DD	-
3	YY.MM.DD	-
2	YY.MM.DD	-
1	2015.02.13	ISSUED FOR CONSTRUCTION
No.	DATE	REVISION / ISSUANCE



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Engineer

Project: BID OPPORTUNITY 149 - 2015  
**TURTLE ISLAND COMMUNITY CENTRE RENOVATION**  
510 King Street

Sheet Title

**YOUTH LOUNGE MULTI-PURPOSE ROOM (MPR)**

Project No.

1428

Date

FEBRUARY 13, 2015

**A2.1**