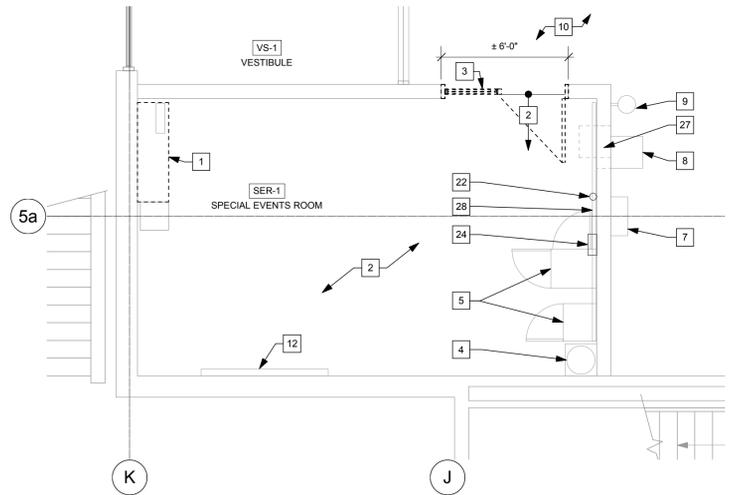
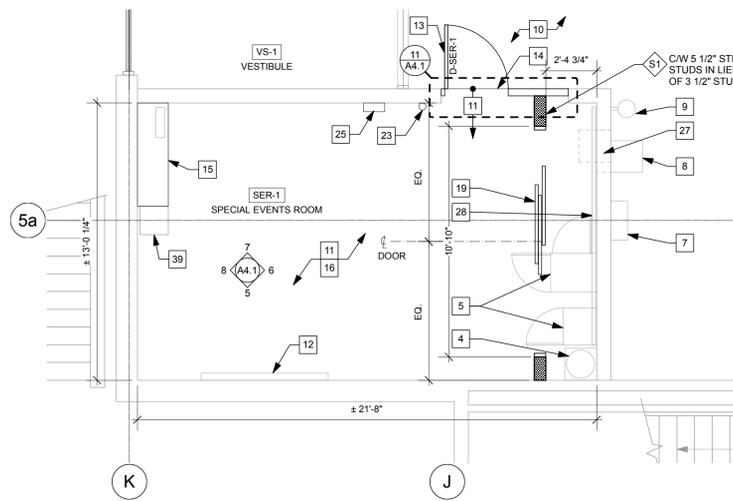


KEYNOTES

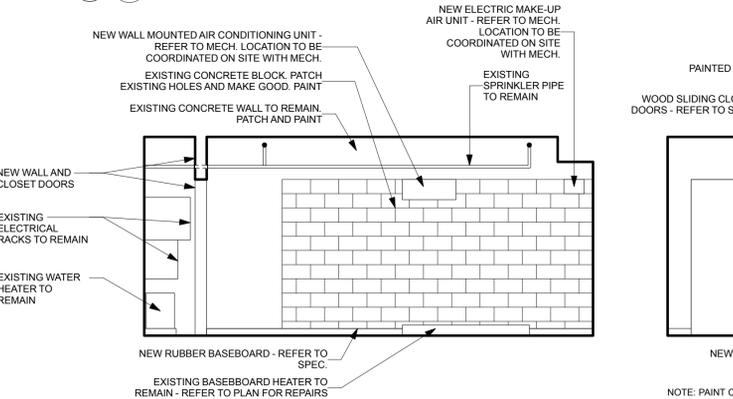
- 1 DEMOLISH EXISTING MILLWORK, PATCH WALL AND MAKE GOOD.
- 2 DEMOLISH EXISTING VINYL FLOOR TILE
- 3 DEMOLISH EXISTING DOOR, FRAME AND SIDELITE, PATCH EXISTING MASONRY WALL AND PREPARE FOR NEW FRAME
- 4 EXISTING HOT WATER TANK C/W WOOD BASE TO REMAIN
- 5 EXISTING DATA RACKS TO REMAIN
- 6 EXISTING HEAT DETECTOR TO REMAIN - REFER TO 4/A4.1 FOR MODIFICATION
- 7 EXISTING ELECTRICAL UNIT TO REMAIN
- 8 EXISTING WATER FOUNTAIN TO REMAIN
- 9 EXISTING EYE WASH STATION TO REMAIN
- 10 EXISTING POOL DECK
- 11 NEW SHEET VINYL FLOORING
- 12 EXISTING BASEBOARD HEATER TO REMAIN.
- 13 NEW ALUMINUM DOOR AND FRAME IN EXISTING MASONRY OPENING. REFER TO DOOR SCHEDULE.
- 14 PROVIDE NEW METAL THRESHOLD TO SUIT FLOOR ELEVATION CHANGE. THRESHOLD TO MEET NBC BARRIER FREE REQUIREMENTS
- 15 NEW MILLWORK - REFER TO INTERIOR ELEVATIONS AND DETAILS (A1.3)
- 16 PATCH HOLES, REPAIR, & PAINT EXISTING CONCRETE BLOCK AND CONCRETE WALLS AND CONCRETE COLUMN
- 17 EXISTING ELECTRICAL CONDUIT TO REMAIN - REFER TO ELEC.
- 18 1 1/2" HAT CHANNEL, PAINT MATTE BLACK
- 19 3 TIER WOOD SLIDING DOOR C/W HARDWARE AND LOCK, REFER TO SPEC.
- 20 NEW LIGHTING FIXTURE, ADJUST ELECTRICAL TO SUIT NEW LOCATION - REFER TO ELEC.
- 21 PAINT U/S BEAM / FLOOR - TYP. THROUGHOUT. COLOUR TO BE SELECTED BY CONTRACT ADMINISTRATOR.
- 22 EXISTING FIRE EXTINGUISHERS AND SIGNAGE TO BE RELOCATED
- 23 INSTALL RELOCATED EXISTING FIRE EXTINGUISHERS AND SIGNAGE. HEIGHT TO MATCH EXISTING HEIGHT
- 24 EXISTING P.A. SYSTEM C/W ALL ASSOCIATED ELEMENTS TO BE RELOCATED - REFER TO ELEC
- 25 EXISTING AIR CONDITIONING UNIT IN CONCRETE BLOCK OPENING TO REMAIN - REFER TO MECH
- 26 EXISTING PLUMBING LINES TO REMAIN
- 27 NOT USED
- 28 EXISTING SPRINKLER PIPE / HEAD TO REMAIN
- 29 DEMOLISH EXISTING LIGHTS - REFER TO ELEC.
- 30 EXISTING EXPOSED CONCRETE STRUCTURE ABOVE
- 31 EXISTING SPRINKLER PIPE/HEAD TO REMAIN. MODIFY NEW WOOD CLADDING TO SUIT EXISTING PIPE INSTALL AS REQUIRED. CO-ORDINATE WITH CONTRACT ADMINISTRATOR. PAINT SPRINKLER PIPE. COLOUR TO BE SELECTED BY CONTRACT ADMINISTRATOR.
- 32 NEW 3/4" X 3 1/2" WOOD CLADDING, STAINED
- 33 EXISTING HEAT DETECTOR TO REMAIN. REMOVE AND REINSTALL ON SURFACE OF WOOD CEILING. EXTEND CONDUIT AS REQUIRED. - REFER TO ELEC.
- 34 EXISTING ELECTRICAL CONDUIT TO REMAIN. NOTCH UNDERSIDE OF WOOD IF CONDUIT CONFLICTS WITH WOOD.
- 35 NEW WALL-MOUNTED AIR CONDITIONER - REFER TO MECH.
- 36 NEW MECHANICAL UNIT - REFER TO MECH.
- 37 EXISTING COLUMN - PAINT



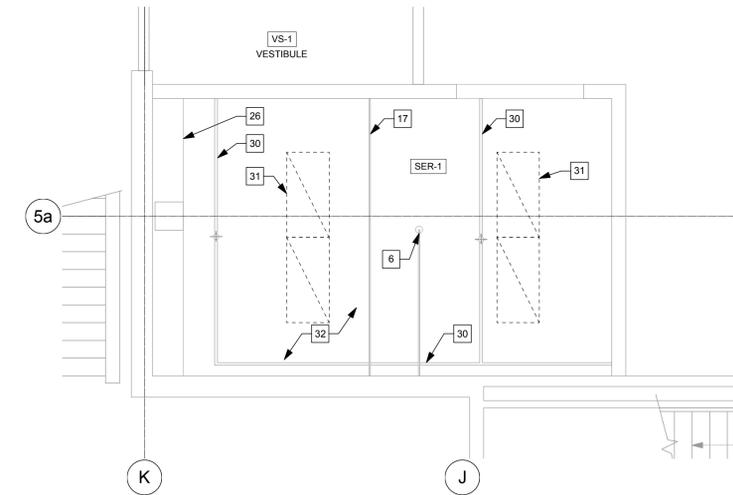
1 DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



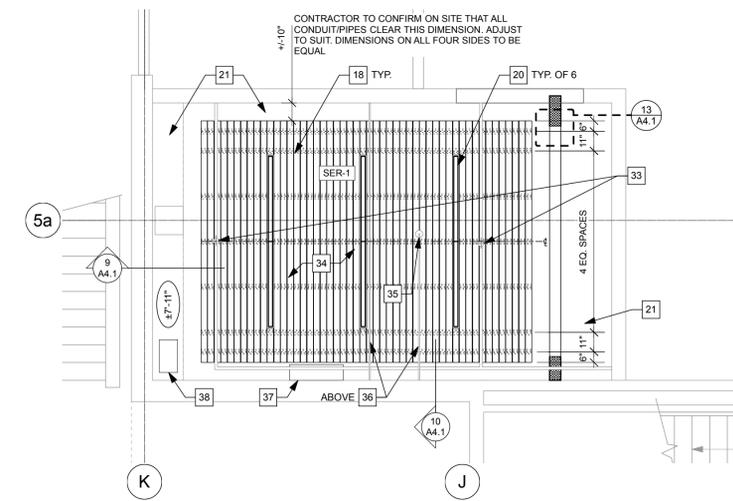
2 DEMOLITION REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



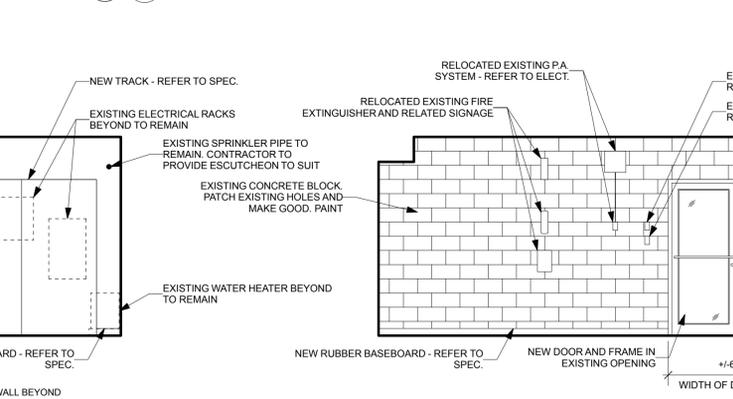
3 NEW PLAN
SCALE: 1/4" = 1'-0"



4 NEW REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



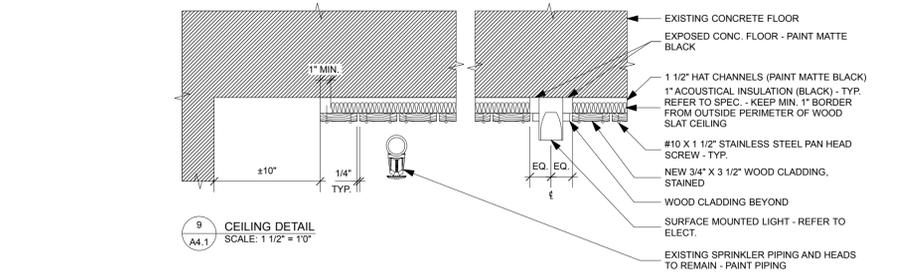
5 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



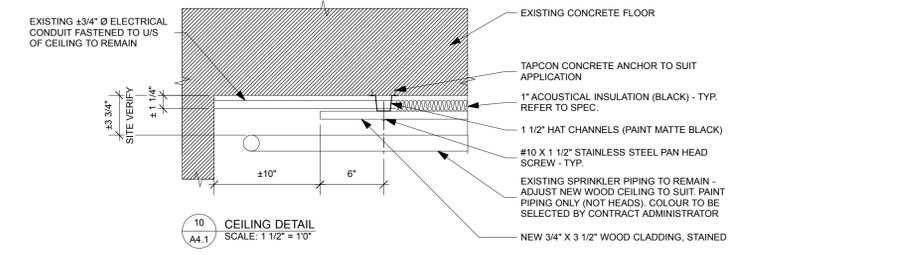
6 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



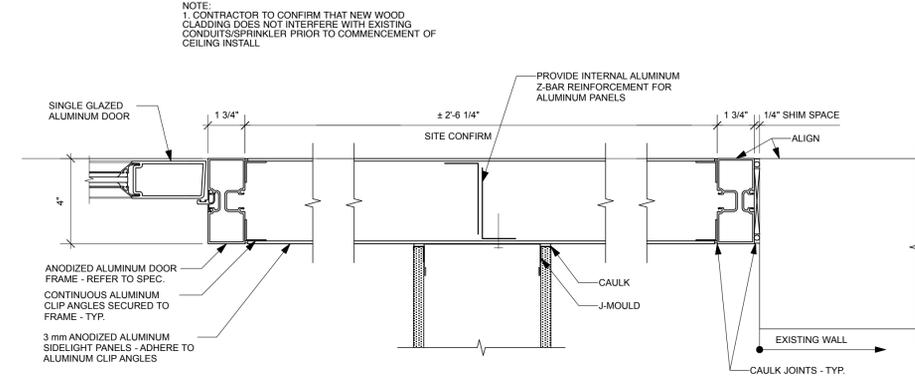
7 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



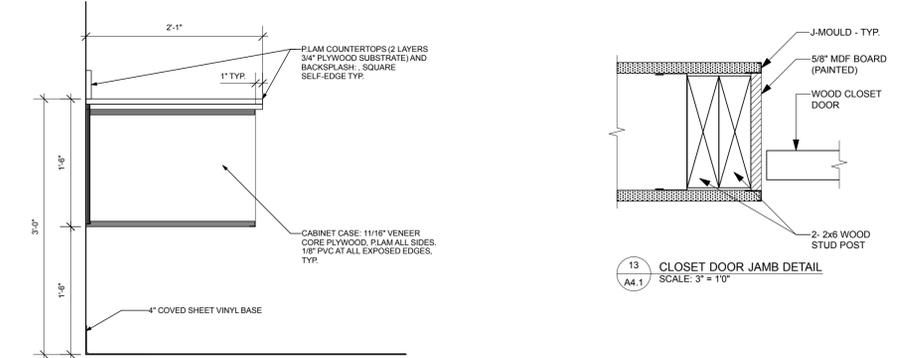
9 CEILING DETAIL
SCALE: 1 1/2" = 1'-0"



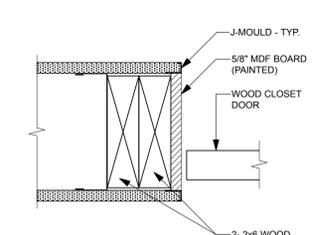
10 CEILING DETAIL
SCALE: 1 1/2" = 1'-0"



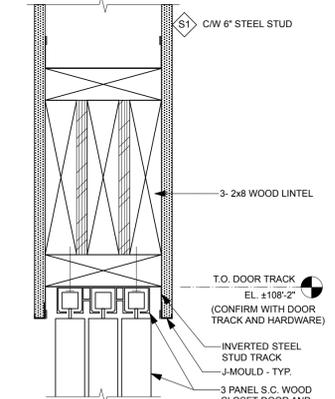
11 ALUMINUM DOOR SIDELIGHT PLAN DETAIL
SCALE: 3" = 1'-0"



12 MILLWORK DETAIL
SCALE: 1" = 1'-0"



13 CLOSET DOOR JAMB DETAIL
SCALE: 3" = 1'-0"



14 CLOSET DOOR HEAD DETAIL
SCALE: 3" = 1'-0"

- LEGEND**
- EXISTING WALL TO BE DEMOLISHED
 - EXISTING WALL TO REMAIN
 - - - EXISTING DOOR TO BE DEMOLISHED
 - - - EXISTING DOOR TO REMAIN
 - NEW DOOR
 - EXISTING LIGHTS TO BE RELOCATED - REFER TO ELEC.
 - EXISTING SPRINKLER TO BE RELOCATED - REFER TO MECH.
 - EXISTING ACOUSTIC CEILING TILE AND GRID TO BE DEMOLISHED.
 - EXISTING ACOUSTIC CEILING GRID TO REMAIN.

5	YY.MM.DD	-
4	YY.MM.DD	-
3	YY.MM.DD	-
2	YY.MM.DD	-
1	16.02.29	ISSUED FOR CONSTRUCTION
No.	DATE	REVISION / ISSUANCE



Architect

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Project: BID OPPORTUNITY 1034 - 2015

**PAN AM POOL
INTERIOR RENOVATIONS
25 POSEIDON BAY**

Sheet Title: **ZONE 4:
DEMO PLAN & RCP & NEW PLAN & RCP
SPECIAL EVENTS ROOM**

Project No.: 1506

Date: FEB. 29, 2016

Sheet: **A4.1**