



**City of Winnipeg
Planning, Property and Development Department**

**Request for Expressions of Interest for a Joint
Venture Partnership with the City of Winnipeg
for the Sale and Redevelopment of the
City Owned Property Located at
1500 Plessis Road/849 Ravelston Avenue West
Winnipeg, Manitoba**

EOI # (580-2014)

1.0 INTRODUCTION

The City of Winnipeg (City) invites Expressions of Interest (EOI) from Joint Venture Proponents, with respect to the sale and redevelopment of a portion of 1500 Plessis Road/849 Ravelston Avenue West.

The City of Winnipeg is seeking proposals from Joint Venture Proponents identifying how this site can be developed in the manner as outlined in this EOI. The proposal should address what they expect the City's role to be in a proposed Joint Venture Partnership.

As per OurWinnipeg, the Complete Communities Direction Strategy, and the Transcona West Area Structure Plan, the site is intended to be developed as a high density, mixed use, transit-oriented development that will include the integration of a multi-use recreation area.

POSTIVE FEATURES FOR THE PROPOSED DEVELOPMENT OF THIS SITE:

- Future infrastructure will provide traffic connectivity
- In close proximity to future multi-use library
- In close proximity to proposed future rapid transit
- Within close proximity to major shopping district

This information package provides a brief overview of the property and the associated terms of reference for this EOI.

2.0 LOCATION

The subject City property is located on the northwest corner of Plessis Road and Ravelston Avenue West and is shown as **“Subject City Property”** outlined on the attached Misc. Plan No. 14268/13.

Lot 1 is to be sold by the City to Winnipeg Housing Rehabilitation Corporation and Lots 2 and 3, are to be retained by the City for future development of public facilities, and therefore are not being offered for sale and development in this EOI.

3.0 BACKGROUND

The property is the former location of the City of Winnipeg District No. 4 Operations and Waterworks, Waste and Disposal Departments, housing a small industrial complex of offices, shops and warehousing facilities comprising approximately 82,500 square feet, staff parking and fenced storage including storage of roadsalt/sand mix. It is currently zoned “M1” Manufacturing Light Industrial.

All City Departments will completely vacate the property by December 31, 2014.

The subject City property is being offered with vacant possession. **The demolition of existing buildings within the “Subject City Property” shall be negotiated as part of a Joint Venture Agreement.**

4.0 COUNCIL DIRECTIVE

On May 24, 2006, Council declared 1500 Plessis Road/849 Ravelston Avenue as surplus when vacated and to be made available for sale in accordance with the Public Works-Water and Waste Facilities Master Plan.

5.0 PREVIOUS STUDIES

5.1 Environmental Assessments

Phase I and II Environmental Site Assessments (ESA) were completed for the City by AMEC Environment & Infrastructure in 2012. Areas of concern associated with the use or storage of petroleum hydrocarbons (PHC), soil salinity, metal parameters, polycyclic aromatic hydrocarbons (PAHs), and polychlorinated biphenyls (PCBs) were assessed.

Electronic Copies of the Phase I and Phase II ESA’s are available on request from the Contact Person herein.

The City hereby discloses that some components of the buildings may contain various forms of asbestos, including but not limited to the itemized list provided in Schedule E herein. The proposed Joint Venture Agreement shall address the safe removal of the asbestos and any other hazardous materials as part of the demolition process.

The subject City property is offered in **“as-is, where is”** condition.

The subject City property will require remediation to an environmental standard acceptable to Manitoba Conservation for the intended uses.

6.0 CURRENT STATUS

6.1 Planning

6.1.1 OurWinnipeg and Complete Communities

The Complete Communities Direction Strategy is one of four direction strategies supporting OurWinnipeg, the city’s new long-range development

plan, and has gained statutory authority as a secondary plan. The strategy serves as a “playbook” to guide land use and development in Winnipeg. It received third reading at City Council on July 20, 2011, and became effective on August 17, 2011.

According to the Complete Communities Urban Structure map, the site is designated as a “Major Redevelopment Site”. Major Redevelopment Sites will provide transformative opportunities for the development of complete communities with significant residential and employment densities and attractive urban design, capitalizing on vacant or underutilized sites within the existing urban fabric. Supporting Direction and Enabling Strategies include:

- Promote development of Major Redevelopment Sites with proactive and collaborative planning process.
- Capitalize on the proximity of Major Redevelopment Sites to rapid transit and high frequency transit.
- Major Redevelopment Sites will provide for complete communities with significant levels of mixed use, high density development, with strong urban design and attractive parks, places, and open spaces.

Electronic copies of OurWinnipeg and Complete Communities can be found online at the following website: <http://speakupwinnipeg.com/ourwinnipeg/>.

6.1.2 Transcona West Area Structure Plan

The subject site falls within the boundaries of the Transcona West Area Structure Plan, which serves as a “blueprint” for the future development of the area.

This Plan shows an extended Kildare Avenue bisecting the subject site. Construction of the southern 2 lanes will be commencing in 2014.

The north half and the south half of 1500 Plessis Road/849 Ravelston Avenue West (except for the Park and Recreation designation) is designated as “Proposed Residential Mixed Use”. The purpose of these areas is to create community focal points with mixed use development that is strategically located within the plan area adjacent to major roadways and transit services. They should contain a grouping of retail and/or service commercial uses integrated with complementary uses such as public open space, single, and multiunit residential development. Section 5.4.2(4) outlines suggested design criteria for Residential Mixed Use areas.

The Plan identifies the location of a proposed rapid transit station on the site to be located in the vicinity of Plessis and Kildare. It notes that Mixed Use Areas located in the vicinity of rapid transit stations planned for the Eastern

Transit Corridor shall provide convenient and direct pedestrian access to the stations, shall provide efficient roadway access to the transit corridor by transit vehicles, and shall provide convenient access to Park and Ride lots by vehicles.

Electronic copies of the Transcona West Area Structure Plan can be found online at:

<http://www.winnipeg.ca/CLKDMIS/DocExt/ViewDoc.asp?DocumentTypeId=1&DocId=4382&DocType=O>.

Note:

On February 26, 2014 Council adopted the recommendation of the Standing Policy Committee on Property and Development that by-law 94/2013, a by-law to amend the Transcona West Area Structure Plan (By-law 215/2006) to permit RMU (Residential Mixed Use) and PR3 (Parks & Recreation Regional) on those areas of the City Property shown on the attached Misc. Plan No. 14268/13.

6.1.3 Proposed multi-use recreation area

The City of Winnipeg shall retain approximately 9.2 acres of land that shall be set aside for public facilities in the north east quadrant of 1500 Plessis Road/849 Ravelston Avenue West. This land is shown on Misc. Plan No. 14268/13 as Lots 2 and 3, Block 1. These lots will be created as per DASZ 39/13 which was approved by Council on February 26, 2014. These lands may include a multi-use recreation centre (35,000 sq. ft.) and potentially a community library (14,000 sq. ft.). This parcel should be linked as per the Transit Oriented Development Handbook to the proposed Transit Station and existing community AT facilities. Final site configuration shall be determined in consultation with the successful Joint Venture Proponent to the satisfaction of the City.

6.1.4 Proposed Sale of Lot 1 to Winnipeg Housing Rehabilitation Corporation

On February 18, 2014 the Standing Policy Committee on Property and Development concurred with the recommendation of the East Kildonan-Transcona Community Committee that the sale of the subject City-owned property – Lot 1 be approved to the Winnipeg Housing Rehabilitation Corporation for the purchase price of \$1.00, together with all other terms and conditions that the Director of Planning, Property and Development and the Director of Legal Services and City Solicitor consider necessary to protect the interest of the City.

6.1.5 Other planning considerations

It is expected that the site will be developed in accordance with Transit-Oriented Development (TOD) principles. These are outlined in the City's Transit-Oriented Development Handbook, which can be found at the following link: <http://www.winnipeg.ca/ppd/TOD/pdf/Handbook.pdf>. And the TOD Checklist at: <http://www.winnipeg.ca/ppd/TOD/pdf/Checklist.pdf>.

The following provides a summary of some concepts in the Transit Oriented Development Handbook that could be applied to this Major Redevelopment Site:

- The Complete Communities Direction Strategy advises that development alongside rapid transit stations should be developed in accordance with transit oriented development principles.
- The Transcona West Area Structure Plan identifies a future rapid transit station in the vicinity of Plessis and Kildare.
- The City of Winnipeg has a Transit Oriented Development Handbook to guide such development. It was endorsed in principle by Council on February 22, 2012.
- The TOD Handbook is a high-level framework document that guides and facilitates mixed-use, pedestrian-oriented infill development along rapid transit corridors and high frequency transit corridors.
- While the bulk of the Handbook deals with higher-level issues, there are a number of Principles that can be applied at a site-specific level such as the proposed development. Specifically, it highlights six:
 1. Medium to high density development that is greater than the community average.
 2. A mix of uses.
 3. Compact, high quality pedestrian-oriented environment.
 4. An active, defined centre.
 5. Innovative parking strategies.
 6. Public leadership.
- Among these above noted Principles, some key supporting points include:
 - Highest densities and heights near station – The immediate area around the station should generally contain the greatest intensity and mix of uses.
 - Ground floor active uses – A range of uses, conveniently located close to the station entrance, will promote activity within the station area. Higher intensity development with active ground floor uses (such as shops and/or restaurants) sensitively clustered within a short walk of station entries, will assist in promoting transit ridership and the creation of “18 hour places”.
 - Make connections through urban form – The relationship between existing community elements (buildings, streets, sidewalks) and the new transit infrastructure should be assessed as part of the

- design process to determine if a linked series of spaces and available routes make it easy to access the station.
- Design these and details – High quality architectural design and detail should be provided conveying a sense of place and relating to the street and the pedestrian environment, including active first floor storefront windows, awnings, architectural features, lighting, and landscaping.
 - Urban parks and open space – Urban parks, gathering places and plazas, including public art.
 - Pedestrian oriented environment – Pedestrian oriented design to encourage walking and community interaction with ground floor uses and spaces.
 - Connections – Incorporation of connections between buildings, the station and the Active Transportation network to ease movement within the site and encourage cycling to mid-distance destinations.
 - Parking as urban form – Minimize surface parking and plan for parking on an area or district basis rather than building by building. Any surface parking should be balance with structured and underground parking. Parking provided on-site should be located to the side or rear of buildings, rather than in the front yard. Any parking facilities should be integrated with the development theme and screened from adjacent land uses. Some short-term parking would be appropriate in front of ground floor retail uses. Bicycle parking should be provided at convenient locations in proximity to building entrances, but outside the path of pedestrian travel.

Any and all costs related to zoning, subdivision or dedication fees and street closings or openings related to the redevelopment of the property are to be negotiated as part of a Joint Venture Agreement.

Note:

The City filed an application (DASZ 39/13) to rezone and subdivide 1500 Plessis Road/849 Ravelston Avenue West to create the RMU and PR3 (Residential Mixed Use and Parks and Recreation Regional) zoning and land parcels shown on the attached Misc. Plan No. 14268/13. On February 26, 2014 Council adopted DASZ 39/13 to subdivide and rezone 1500 Plessis Road/849 Ravelston Avenue West to create the RMU and PR3 zoning.

The Joint Venture Partnership proposal shall address the zoning and servicing agreements containing all of the conditions approved by Council applicable to the rezoning and subdivision application (DASZ39/13). **Please see the attached Draft Schedule “C” Special Terms relating to servicing requirements.**

For further information in regard to the aforementioned Special Terms, contact Mr. Greg Jasper, Land Development Branch at 204-986-5114.

For further planning information, contact area planner Mr. Michael Pyl at 204-986-5595.

6.2 Services

Transportation:

The Transcona West Area Structure Plan (July 2008 – Map 5) identifies the proposed streets to be opened/closed within the limits of the subject City property.

There will be a requirement to enter into zoning and servicing agreements containing all of the conditions approved by Council applicable to this rezoning and subdivision application (DASZ 39/13) **Please see attached conditions of Council Minutes dated February 26, 2014 – Schedule “D”**. The City of Winnipeg will be responsible at its expense for the PLAN CONSIDERATIONS items 1 to 4.

Also attached is the Draft Servicing Agreement as required by DASZ 39/13, attached as Schedule “C” Special Terms.

1. As part of any proposed development of the subject City property, the Joint Venture Agreement shall address the responsibility for the construction of:

- (1) 2 lanes of pavement and the accompanying range of municipal services for the extension of Kildare Avenue, west of Plessis Road on an alignment agreeable to the City, up to the easterly limit of the planned area on the Ravelston Avenue right-of-way contained in application DASZ 10/13.

The City is currently in process for the commencement of construction of the other 2 lanes of pavement for the extended Kildare Avenue including land drainage. **These 2 lanes are expected to be completed and opened by November of 2014.**

The extended Kildare Avenue is required to be a 4 lane roadway.

- (2) Provide the full range of municipal services, including pavement, for the extension of Bienvenue Street North to the new extension of Kildare Avenue West.

- (3) Any additional requirements as per the attached Draft Schedule “C” Special Terms relating to servicing requirements.

2. Other road works required as part of the rezoning/subdivision will include but not be limited to: intersection works at Plessis Road and Kildare Avenue West including modifications to existing traffic control signals, intersection works at the future Ed Schreyer Parkway and Kildare Avenue West including traffic signals and the CEMR railway crossing.

For detailed information on specific streets requirements contact: Cindy Desjardine, Public Works Department, 204-986-6875.

Sewer and Water:

Information on the existing infrastructure is available at the City of Winnipeg, Underground Structures Branch – 204-986-6401.

The Joint Venture Agreement shall be required to address the requirement of a detailed servicing report prepared by a qualified engineer for review and approval by the City prior to any development taking place.

As part of any proposed development, the Joint Venture Partnership shall be required to enter into a servicing agreement with the City to construct all water mains, wastewater sewers and land drainage sewers required to serve the Subject City Property and any other conditions for a Servicing Agreement as set out in the attached Schedule “C” Special Terms.

6.3 Property Information

Assessment: Part of Roll # 04005426500

Subject City Property:

The subject City property is part of a larger landholding owned by the City contained in Certificate of Title #1877138/1, which is legally described as:

All those portions of OTM Lots 86”A”, 87”A”, 88 “A”, 89 “A” and 90 “A”, Parish of Kildonan, which lie to the SE of a line drawn SE of Parallel with and Perpendicular distant 85 feet from the southeastern limit of the land taken for the Right-of-way of the Canadian Northern Railway shown on Plan 898 WLTO.

The title is subject to caveat #182465/1 by the Manitoba Hydro-Electric Board. The extent of the caveat is shown on Misc. Plan No. 14268/4 attached hereto as Schedule “B” and affects a **portion** of the subject City property.

Buildings/Improvements:

The subject City property is being sold “as is – where is”.

It will be the responsibility of the Proponent for demolition of the existing buildings/improvements.

6.4 Viewing of the Subject Property

Will be scheduled by appointment through the Contact Person.

7.0 INSTRUCTIONS TO JOINT VENTURE PROPONENTS

7.1 Material and Information to be Supplied by Joint Venture Proponents

7.1.1 Background Information

- i) the names of all Principals associated with the proposal;
- ii) a list of the successful projects carried out by the Joint Venture Proponent, if any;
- iii) financial information about the Joint Venture Proponent;
- iv) any other information which the Joint Venture Proponent considers pertinent to the EOI.

7.1.2 Details of the Proposed Purchase and Site Development

The proposals must include the following:

- Corporate profile and a statement about experience with mixed use development, including transit oriented development projects,
- Offering price,
- Financial terms,
- Conditions, if any, related to the development of the subject City property
- **A plan outlining the proposed development**, including:
 - An outline of the development phasing and timing,
 - The anticipated economic and social benefits, both direct and indirect, to the community,
 - A description of how the proposal will meet TOD objectives,
 - A description of innovative approaches to environmental remediation or treatment of the site,
 - A description of how the proposal addresses the City's environmental objectives and/or targets (eg. Greenhouse gas reduction, waste maximization, building technology, water conservation, energy management),
- and any other relevant terms or assumptions.

7.2 General Conditions of EOI

7.2.1 Sealed EOI's

Sealed EOI's marked 1500 Plessis Road EOI #580-2014, should be addressed and delivered to:

Materials Management
City of Winnipeg
Main Floor, 185 King Street
Winnipeg, Manitoba

Sealed EOI's will be received up to the deadline of:

4:00 pm, Winnipeg Time, on August 8, 2014.

EOI submissions determined by the Manager of Materials to have been received later than the EOI deadline may not be accepted and returned upon request.

The Contract Administrator or the Manager of Materials may extend the submission deadline by issuing an addendum at any time prior to the submission deadline.

EOI's submitted by facsimile transmission (fax) or internet electronic mail (e-mail) will not be accepted.

EOI's will not be opened publicly.

The City may at any time prior to the submission deadline, issue addenda correcting errors, discrepancies or omissions in the Request for Expressions of Interest, or clarifying the meaning or intent of any provisions therein.

Addenda will be available on the Bid Opportunity page at the City of Winnipeg, Corporate Finance, Materials Management Division internet site at <http://www.winnipeg.ca/matmgt/bidopp.asp>

The Joint Venture Proponent is responsible for ensuring that it has received all addenda and is advised to check the Materials Management Division internet site for addenda shortly before the submission deadline.

7.2.2 Proposals on all or Part of the Lands

The City will only consider proposals which intend to develop all of the subject City property.

7.2.3 Evaluation

The City shall evaluate each proposal on its own merit and price alone may not be the sole determining factor that the City considers in the evaluation of each and every proposal.

Critical factors within the evaluation process will include:

- Purchase price,
- Potential tax revenue,
- Demonstrated experience with mixed use development
- Corporate profile, knowledge of the industry and history of development experience in Winnipeg,
- Demonstrated financial and management capacity, and availability to implement the project,
- Demonstrated understanding of the project objectives and key issues,
- Project schedule and timing of implementation,
- Compatibility with surrounding uses,
- Overall development layout,
- Proposed building design and quality.

7.2.4 Right to Reject

The City reserves the right to reject all or any EOI.

7.2.5 Caveat Emptor

The City makes no representations or warranty with respect to the quality, condition or sufficiency of the Subject City Property.

No current legal survey was made of the Subject City Property to determine the nature and extent of any structure thereon or to determine if there are any encroachments from adjoining lands.

The Subject City Property will be sold on an “**as is, where is**” basis, subject to the conditions as outlined within this EOI.

7.2.6 Phase I – EOI Evaluation

The Joint Venture Proponents are advised to present their best offer, not a starting point for negotiations in their Proposal submission. The

City will only negotiate with the Joint Venture Proponents submitting, in the City's opinion, the most advantageous and thorough proposal.

The Planning, Property and Development Department will review all proposals on the basis of financial, operational and strategic merit to the City.

If, after this initial review, the Department deems the proposals to be unacceptable, the proponents will be notified and no further discussions will be held.

Upon completion of the initial Phase I review, the Department will short list those submissions that are worthy of additional discussions and proceed to the Phase II evaluation process.

7.2.7 Phase II – Detailed Proposal Solicitation and Evaluation

The Department will notify all Joint Venture Proponents of their status within the short listed process, and will invite the short listed Joint Venture Proponents to submit additional or clarifying details, regarding their submission(s).

7.2.8 Phase III - Negotiations

The Department will enter into detailed negotiations with one or more short listed proponents which it believes have the most merit. The proposal(s) will be finalized for submission to, and consideration by the Standing Policy Committee on Property and Development.

The Council of the City of Winnipeg has delegated the authority to the Standing Policy Committee on Property and Development for the approval of the disposition of Subject City Property.

Subject to the prior approval by the Standing Policy Committee on Property and Development of the Joint Venture Proponent's proposal, the Department will then draft a formal Joint Venture Agreement between the City and the Joint Venture Partner embodying the City's standard terms and conditions together with any conditions imposed by the City solicitor to protect the interests of the City.

7.2.9 No Contract

The Expression of Interest is an inquiry only. By responding to this EOI and participating in the process as outlined in this document, Joint Venture Proponents expressly understand and agree that no contract

of any sort is implied or formed under, or arises from this EOI and that no legal obligations between parties has, or will be, pre-determined. The City will have no obligation to enter into negotiations or a contract with any Joint Venture Proponent as a result of this Expression of Interest.

7.2.10 Confidentiality

Information provided to a Joint Venture Proponent by the City, or by a Proponent to the City, or acquired by any party by way of further enquiries or through investigation, **is strictly confidential**. Such information shall not be used or disclosed in any way without the prior written authorization of the City, or of the Joint Venture Proponent.

The Joint Venture Proponent, or the City, shall **not** make any statement of fact or opinion regarding any aspect of the EOI to the media or any member of the public without the prior written authorization of the Director of the Planning, Property and Development Department, or without the authorization of the Proponent.

Disclosure of a successful submission by a proponent is the sole responsibility of the Council of the City of Winnipeg, or its Designated Authority. The City may be obligated to disclose the final purchase price after closing date of the sale of the Subject City property.

7.2.11 Contact Persons

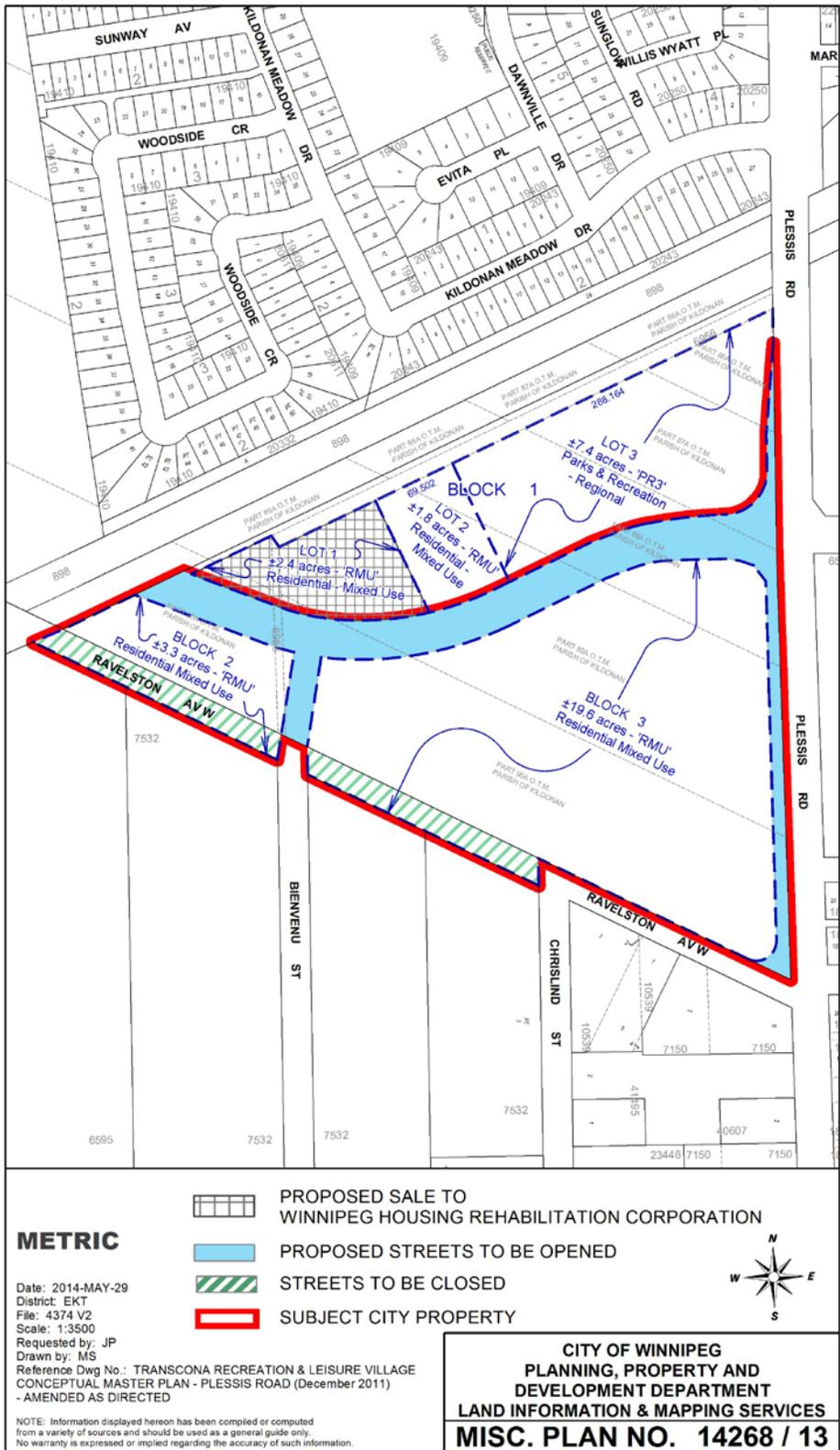
Joedi Pruden, Senior Negotiator
City of Winnipeg
Planning, Property and Development Department
2nd Floor, 65 Garry Street
Winnipeg, Manitoba

Phone (204) 986-7533 Fax: (204) 944-8476

List of Figures

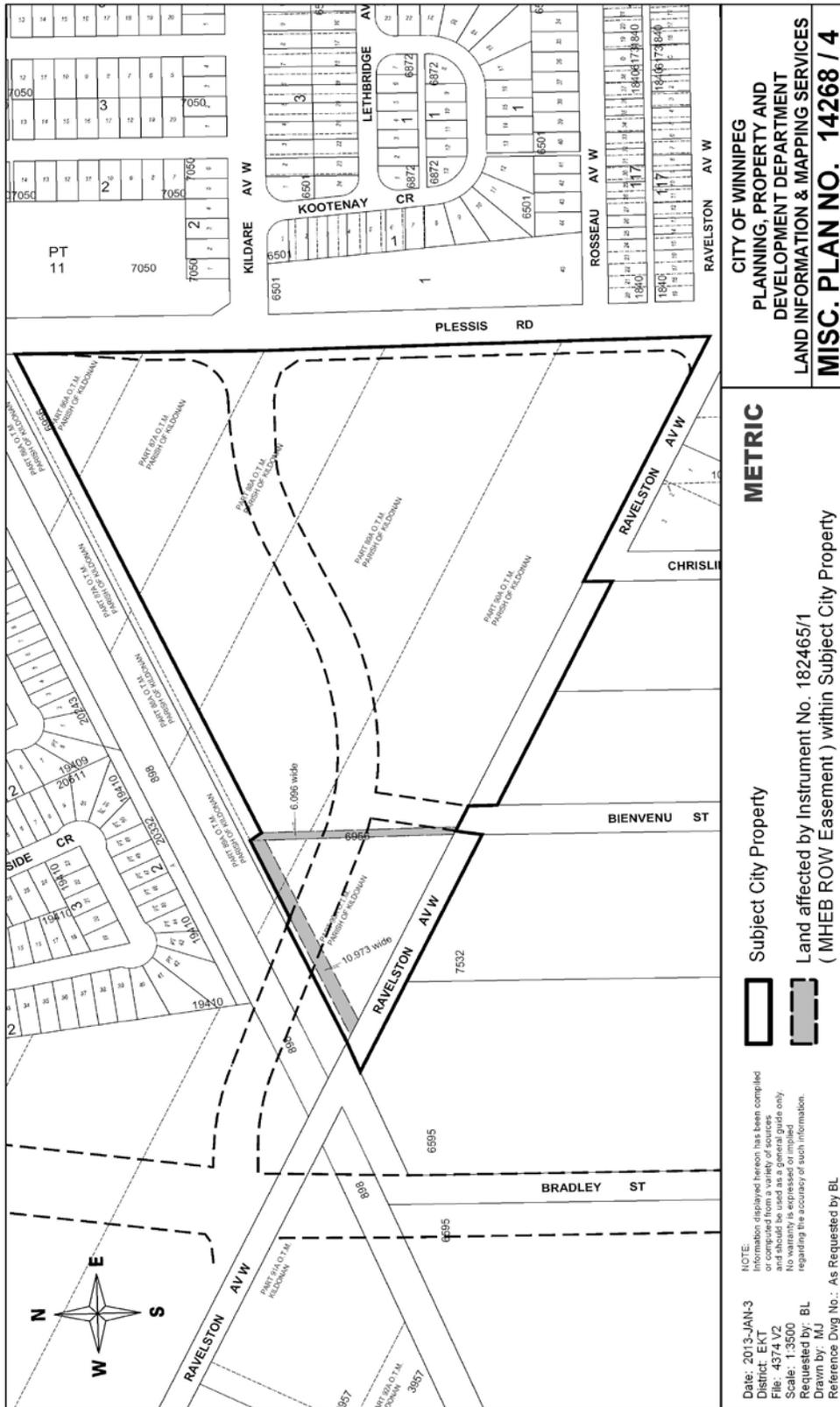
- | | | |
|----------------|---|--|
| • Schedule “A” | Misc. Plan No. 14268/13 | Subject City Property |
| • Schedule “B” | Misc. Plan No. 14268/4 | Manitoba Hydro Electric Board Easement |
| • Schedule “C” | Special Terms for Servicing Agreement | |
| • Schedule “D” | Council Minutes – February 26, 2014 pages 1 to 11 | |
| • Schedule “E” | Asbestos Inventory List | |
| • Schedule “F” | Conceptual Renderings | |

Schedule "A"



Request for Expressions of Interest
for City Owned Land Located at 1500 Plessis Road Winnipeg, Manitoba

Schedule "B"



Schedule “C”

AG 39/13
DASZ 39/13

SCHEDULE “C”

Page 1

SPECIAL TERMS

TABLE OF CONTENTS

<u>Paragraph</u>	<u>Page</u>
SECTION I – SERVICING	
1. Wastewater Sewers	3
2. Watermains	3
3. Land Drainage Sewers	3
4. Land Drainage Trunk Charges	3
5. Lot Grading	3
6. Sidewalks	4
7. Kildare Avenue West Extension	4
8. Bienvenue Street Extension.....	5
9. Share of Traffic Control Signals	6
10. Railway Crossing Protection	6
11. Area Charge for Pedestrian Signals on Peguis Street	7
12. Area Charge for Ravelston Avenue Pavement Removal	7
13. Boulevards	7
14. Construction Traffic Access and Maintenance.....	8
15. Development Information Signs	8
16. Public Reserve Land	9
17. Utilities.....	10
18. Litter and Refuse Control and Clean-up	10
19. Survey Monuments	11
SECTION III – COSTS AND FEES	
1. By-laws and Approvals	12
2. Professional Fees	12
3. Administration Fees	13

AG 39/13
DASZ 39/13

SCHEDULE "C"
SPECIAL TERMS

Page 2

: D A T

Developer's Initials: _____

City's Initials: _____

AG 39/13
DASZ 39/13

SCHEDULE "C"

Page 3

SPECIAL TERMS

SECTION I – SERVICING

1. Wastewater Sewers

The Developer shall, at no expense to the City, construct all wastewater sewers required to service the Planned Area, as determined by and to the satisfaction of the Director of Water and Waste.

2. Watermains

The Developer shall, at no expense to the City, construct all watermains required to service the Planned Area, as determined by and to the satisfaction of the Director of Water and Waste.

3. Land Drainage Sewers

The Developer shall, at no expense to the City, construct and install all land drainage sewers required to service the Planned Area and adjacent lands as determined by and to the satisfaction of the Director of Water and Waste.

4. Land Drainage Trunk Charges

The Developer shall, prior to the release of the subdivision mylars for registration in the Land Titles Office, pay its share of the Kildare Avenue Trunk User Charge. Based on the 2013 rate, that share is calculated as follows:

i) 40 acres x \$559.30/acre =	\$22,372.00
G.S.T. (5%) =	<u>1,118.60</u>
Total	\$23,490.60

5. Lot Grading

- a) Prior to the issuance of building permits, the Developer shall, at no expense to the City:

Developer's Initials: _____

City's Initials: _____

AG 39/13
DASZ 39/13

SCHEDULE "C"

Page 4

SPECIAL TERMS

- (i) Submit to the City, for approval, a lot grading plan for the Planned Area, prepared by a municipal engineer; and
 - (ii) Construct all swales, catchbasins, and leads necessitated by the approved lot grading plan.
- b) Upon registration of the approved plan of subdivision mylars in the Land Titles Office, the Developer shall, at no expense to the City, provide to the City all easements the City considers necessary with respect to the installation, construction, maintenance, and replacement of swales, catchbasins, and leads for drainage of the Planned Area.

6. Sidewalks

The Developer shall, at no expense to the City, construct a 1.5m in width by 100-mm-thick Portland cement concrete sidewalk on the standard alignment, 0.3m from the property line along:

- a) The north side of the Kildare Avenue extension between Plessis Road and the centerline of the future Edward Schreyer Parkway roadway; and
- b) Both sides of the extension on Bienvenue Street to Ravelston Avenue West;

as determined by and to the satisfaction of the Director of Public Works.

7. Kildare Avenue West Extension

The Developer shall, at no expense to the City construct

- a) One-half of a four lane divided roadway consisting of two lanes of asphalt pavement to a width of 8.0m in the Kildare Avenue West extension between Plessis Road and eastern limit of the subdivision and rezoning lands under file DASZ 11/2013;

Developer's Initials: _____

City's Initials: _____

AG 39/13
DASZ 39/13

SCHEDULE "C"

Page 5

SPECIAL TERMS

- b) A roadway transition in Portland cement concrete pavement in Kildare Avenue West, east of Plessis Road, from a four lane divided roadway west of Plessis Road to a two lane 10m roadway east of Plessis Road;
- c) Concrete pavement, new and modifications to, auxiliary lanes, transitions, median opening, channelization and all related works on Kildare Avenue West and on Plessis Road, at and in the vicinity of its intersection with Kildare Avenue West;
- d) Asphalt pavement auxiliary lanes, transitions, median opening, channelization and all related works on the Kildare Avenue West extension at and in the vicinity of its intersection with Bienvenu Street;
- e) and all related works including, but not necessarily limited to; boulevard landscaping, ornamental street lighting, and land drainage sewer

all as determined by and to the satisfaction of the Director of Public Works.

8. Bienvenu Street Extension

The Developer shall, at no expense to the City, construct a 10.0 wide asphalt pavement from the intersection of Ravelston Avenue west, north to the future Kildare Avenue West extension and all related works, including, but not necessarily limited to; boulevard landscaping, ornamental street lighting, and land drainage sewer, all as determined by and to the satisfaction of the Director of Public Works.

Developer's Initials: _____

City's Initials: _____

AG 39/13
DASZ 39/13

SCHEDULE "C"
SPECIAL TERMS

Page 6

9. Share of Traffic Control Signals

The Developer shall, pay to the City, in cash, on demand;

- a) 50% of the costs of modifying the existing traffic control signals and all related works including, but not necessarily limited to pedestrian and vehicular actuation, and interconnection to adjacent traffic control signals and railway crossing protection, and audible pedestrian signals at the intersection of Kildare Avenue West and Plessis Road, as a result of the road works identified in Clause 11 above;
- b) 100% of the costs of traffic control signals and all related works including, but not necessarily limited to pedestrian and vehicular actuation, and interconnection to adjacent traffic control signals and railway crossing protection, and audible pedestrian signals at the intersection of the Kildare Avenue West extension and Bienvenu Street; and
- c) 100% of the costs of traffic control signals and all related works including, but not necessarily limited to pedestrian and vehicular actuation, and interconnection to adjacent traffic control signals and audible pedestrian signals at the intersection of the Regent Avenue and Bienvenue Street. The City shall endeavor to install the traffic signals at the intersection of Regent Avenue and Bienvenue Street prior to the completion of pavement works for Kildare Avenue as described in clause 7 and Bienvenue Street as described in clause 8;

when and as determined by and to the satisfaction of the Director of Public Works.

10. Railway Crossing Protection

The Developer shall, pay to the City, in cash, on demand, 50% of the cost of the installation of automatic railway crossing protection,

Developer's Initials: _____

City's Initials: _____

AG 39/13
DASZ 39/13

SCHEDULE "C"

Page 7

SPECIAL TERMS

including interconnection to adjacent traffic control signals at the Kildare Avenue West extension crossing of the Central Manitoba Railway, Pine Falls Subdivision, when and as determined by the Director of Public Works.

11. Area Charge for Pedestrian Signals on Peguis Street

The Developer shall, pay to the City, in cash, the area charge established by the City for the supply and the installation of a pedestrian half signal to be installed on Peguis Street st Ravelston Avenue West as determined by the Director of Public Works.

The area charge based on 2014 rates is calculated as follows:

12. Area Charge for Ravelston Avenue Pavement Removal

~~The Developer shall, pay to the City, in cash, the area charge established by the City for removal and remediation, including landscaping of the existing roadway portion of Ravelston Avenue West to be closed as determined by the Director of Public Works.~~

The area charge based on 2014 rates is calculated as follows:

13. Boulevards

- a) The Developer shall, at no expense to the City, sod and plant trees on the north boulevard of the Kildare Avenue West extension and both sides of the Bienvenue Street extension within the Planned Area, all in accordance with City specifications and guidelines and, where required, with concept plans prepared by the Developer and submitted to and approved by the Director of Public Works.
- b) The Developer shall, at no expense to the City, maintain the boulevard sod for a period of one year and the boulevard trees for a period of two years, in accordance with specifications approved by

Developer's Initials: _____

City's Initials: _____

AG 39/13
DASZ 39/13

SCHEDULE "C"

Page 8

SPECIAL TERMS

the Director of Public Works.

14. Construction-Traffic Access and Maintenance

The Developer shall, at no expense to the City:

- a) ensure that construction traffic uses access routes determined by the Director of Public Works; and
- b) maintain those access routes in a clean, dust-free condition, free of dropped and tracked-on mud; and
- c) undertake the regular cleaning, including but not limited to scraping and sweeping, of those access routes and all streets within the Planned Area; until building construction, including landscaping, is complete, and

all as determined by and to the satisfaction of the Director of Public Works.

15. Development Information Signs

The Developer shall, at no expense to the City, install signs at the entrances to the Planned Area and showing the Plan of Subdivision, location of proposed sidewalks, active transportation facilities, community mail boxes, parks, natural tree stands, multifamily sites, the Central Manitoba Railway Pine Falls Line, existing and proposed streets and the future Edward Schreyer Parkway, subject to the approval by the East Kildonan-Transcona Community Committee, and to the satisfaction of the Director of Planning, Property, and Development.

Developer's Initials: _____

City's Initials: _____

SPECIAL TERMS

16. Public Reserve Land

- a) The Developer shall dedicate as public reserve land equivalent to 8% of the developable planned area, which shall exclude the lands being zoned PR3 in order to provide for neighborhood greenspace.
- b) The Developer shall, at no expense to the City, undertake site improvements and pay its share of the cost of services in streets abutting the dedicated land all in accordance with plans and specifications approved by the Director of Public Works.
- c) If the Developer is unable to dedicate a full 8% of the land, the Developer shall dedicate an amount of land satisfactory to the Directors of Public Works and Property, Planning & Development, and compensate the City for any shortfalls in the amount of land, servicing and improvements not provided, at the then current values, by payment of cash, or, by the provision of an equivalent value of additional site amenities in the public reserves, as determined by and approved by the Directors of Public Works and Planning Property and Development.
- d) The Development of the Park space development should be undertaken by the time the build out has reached 80% and completed prior to 100% build out, within that phase of the development, unless an extension of time has been previously approved by the Director of Public Works.
- e) The location, size and configuration of public park sites shall be subject to plan approval by the Director of Public Works, the Director of Property, Planning and Development and the East Kildonan-Transcona Community Committee.
- f) The Developer shall, at no cost to the city, install continuous fencing (including but not limited to chain link or bollard style) for properties with side or rear yards abutting public reserve land. Said fence to be located within private property and established by caveat to be the responsibility thereafter of the private property

Developer's Initials: _____

City's Initials: _____

SPECIAL TERMS

owner to maintain. Any chain link fencing installed shall be black style chain link fencing but with a preference for bollards, and be subject to approval by the East-Kildonan Community Committee.

g) The Developer shall, at no expense to the City, maintain the public open space improvements for a period of two years in accordance with specifications approved by the Director of Public Works. The City reserves the right to impose longer maintenance terms for amenities and features, such as naturalized areas, that the Director of Public Works deems to be beyond the standard scope of development.

h) The Developer is, at no expense to the City, responsible for all public reserve lands in each phase of the development in the Planned Area until the City has issued a Final Acceptance Certificate for those public reserve lands.

17. Utilities

a) The Developer shall pay all costs associated with the installation and/or relocation of street lights and other utilities made necessary as a result of, or required to accommodate, the works to be constructed by the Developer to serve the Planned Area, as determined by and to the satisfaction of the Director of Public Works.

b) The Developer shall, at no expense to the City, cause underground electrical and telephone services to be installed to serve the proposed subdivision and will pay the full cost to convert any existing overhead services within the proposed subdivision to underground to the satisfaction of the Director of Public Works.

18. Litter and Refuse Control and Clean-Up

The Developer shall, at no expense to the City, and of its own volition, initiate and control the regular cleanup of litter and refuse

Developer's Initials: _____

City's Initials: _____

AG 39/13
DASZ 39/13

SCHEDULE "C"

Page 11

SPECIAL TERMS

from the contractors and builders for this development, both on-site and off-site, during the installation of services and construction of buildings, until completion of all construction, as determined by and to the satisfaction of the Director of Public Works.

19. Survey Monuments

Following completion of all major construction works, the Developer shall at its cost have the locations of the survey monuments within the Planned Area verified and, where the survey monuments have been disturbed, moved, covered, mutilated or destroyed, shall have them replaced by a Manitoba Land Surveyor. The Developer shall ensure that the Manitoba Land Surveyor provides the Director of Planning, Property and Development with a certificate stating that all survey monuments within the Planned Area have been verified and/or replaced, as the case may be.

Developer's Initials: _____

City's Initials: _____

SECTION III – COSTS AND FEES

1. By-laws and Approvals

The Developer shall pay all of its and the City's costs, fees, and expenses associated with the preparation and attainment of approval for registration of the Zoning By-law(s) and plan(s) of subdivision, including all Municipal Board, Land Titles Office and other fees and expenses, all survey, engineering and advertising fees and costs, and all expenses incidental to the preparation of this Agreement and the physical development of the Planned Area.

2. Professional Fees

- a) The Developer shall pay the full cost of all design services, including preliminary engineering studies, servicing reports, servicing criteria, construction drawings and specifications, and grading and landscaping plans and specifications, to be provided by Consulting Engineer(s) approved by the City, for the design of the municipal services, parklands, parkways and associated works required to serve the Planned Area;
- b) The Developer shall pay the full cost of construction and landscaping supervision services provided by or on behalf of the City for field inspection, preparation of progress estimates, provision of as-built drawings by March 31 of the year following substantial performance of the work, and all other engineering consulting services related to the installation and acceptance of municipal services, and all associated works to serve the Planned Area.

Developer's Initials: _____

City's Initials: _____

AG 39/13
DASZ 39/13

SCHEDULE "C"
SPECIAL TERMS

Page 13

3. Administration Fees

Prior to the release of the subdivision mylars for registration in the Land Titles Office, the Developer shall pay to the City, to help defray the City's administration and related costs associated with the preparation and implementation of the Development Agreement, an administration fee, calculated as follows:

i) 40 acres x \$1,200/acre =	\$48,000.00
ii) G.S.T. (5%) =	\$ 2,400.00
Total	\$50,400.00

D A T

Developer's Initials: _____

City's Initials: _____

Schedule “D”

Council Minutes – February 26, 2014

1

Minute No. 267

Report – Standing Policy Committee on Property and Development – January 14, 2014

**Item No. 4 Subdivision and Rezoning – 1500 Plessis Road
 (Transcona Ward)
 File DASZ 39/2013 [c/r DAC 13/2013 and SPA 3/2013]**

COUNCIL DECISION:

Council concurred in the recommendation of the Standing Policy Committee on Property and Development, as amended by the Executive Policy Committee, and adopted the following:

1. That the plan of subdivision under File DASZ 39/2013 be approved for preparation as a plan of subdivision by a Manitoba Land Surveyor in accordance with Schedule “A” for File DASZ 39/2013 dated October 8, 2013 with such minor changes as may be required, and registration in the Winnipeg Land Titles Office, subject to the following:
 - A. That the future developer be required to enter into a Development Agreement with the City containing all the conditions outlined in the report of the Administrative Coordinating Group dated October 1, 2013, as amended:

A. PLAN CONSIDERATIONS

1. The Developer shall dedicate and legally open property for the widening of the west side of Plessis Road as determined by and to the satisfaction of the Director of Public Works.
2. The Developer shall dedicate and legally open property for right-of-way corner cuts on the north-west and south west corners, as required, at the intersection of Plessis Road and the Kildare Avenue extension, as determined by and to the satisfaction of the Director of Public Works.
3. The Developer shall dedicate and legally open property for right-of-way corner cuts measuring 2.0m by 2.0m in each corner of the intersection of the Plessis Road and extension and the Bienvenu Street extension.
4. The Developer shall grant easements for the existing Feedermain and land drainage sewer located within the Ravelston Avenue right-of-way proposed to be closed.

Report – Standing Policy Committee on Property and Development – January 14, 2014

COUNCIL DECISION (continued):

B. ENGINEERING REPORTS AND SERVICING CRITERIA

1. The Developer shall, provide, to the satisfaction of the Director of Water and Waste, a comprehensive servicing report, prepared by a qualified municipal engineer which will outline the provision of underground services for the proposed subdivision.
2. The Developer shall submit, to the satisfaction of the Director of Water and Waste, servicing criteria sheets for water, wastewater, and land drainage facilities, including plans showing the current and ultimate service areas.

C. AGREEMENT CONDITIONS

SECTION I – SERVICING

1. Wastewater Sewers

The Developer shall, at no expense to the City, construct and install wastewater sewers required to serve the Planned Area as indicated by the servicing report, all to the satisfaction of the Director of Water and Waste.

2. Watermains

The Developer shall, at no expense to the City, construct and install watermains required to serve the Planned Area as indicated by the servicing report, all to the satisfaction of the Director of Water and Waste.

3. Land Drainage Sewers

The Developer shall, at no expense to the City, construct and install land drainage sewers required to serve the Planned Area as indicated by the servicing report, all to the satisfaction of the Director of Water and Waste.

4. Land Drainage Trunk Charges

The Developer shall, prior to the release of the subdivision mylars for registration in the Land Titles Office, pay its share of the Kildare Trunk User Charge benefiting the Planned Area. The 2013 rate is \$559.30/acre.

Report – Standing Policy Committee on Property and Development – January 14, 2014

COUNCIL DECISION (continued):

5. Kildare Avenue Extension

The Developer shall, at no expense to the City, construct:

- a. One-half of a four lane divided roadway consisting of two lanes of asphalt pavement to a width of 8.0m by 200mm in thickness in the Kildare Avenue West extension between Plessis Road and the eastern limit of the Subdivision and Rezoning lands under File DASZ 11/2013.
- b. A roadway transition in concrete pavement in Kildare Avenue West, east of Plessis Road, from a four lane divided roadway west of Plessis Road to a two lane 10m roadway east of Plessis Road.
- c. Concrete pavement, new and modifications to, auxiliary lanes, transitions, median opening, channelization and all related works on Kildare Avenue West and on Plessis Road, at and in the vicinity of its intersection with Kildare Avenue West
- d. Asphalt pavement auxiliary lanes, transitions, median opening, channelization and all related works on the Kildare Avenue West extension at and in the vicinity of its intersection with Bienvenu Street;
- e. and all related works including, but not necessarily limited to; boulevard landscaping, ornamental street lighting, and land drainage sewer

all as determined by and to the satisfaction of the Director of Public Works.

6. Bienvenu Street Extension

The Developer shall, at no expense to the City, construct a 10.0 wide by 200mm in thickness asphalt pavement from the intersection of Ravelston Avenue west, north to the future Kildare Avenue West extension and all related works, including, but not necessarily limited to; boulevard landscaping, ornamental street lighting, and land drainage sewer, all as determined by and to the satisfaction of the Director of Public Works.

Report – Standing Policy Committee on Property and Development – January 14, 2014

COUNCIL DECISION (continued):

7. Share of Traffic Control Signals

The Developer shall, pay to the City, in cash, on demand;

- a. 50% of the costs of modifying the existing traffic control signals and all related works including, but not necessarily limited to pedestrian and vehicular actuation, and interconnection to adjacent traffic control signals and railway crossing protection, and audible pedestrian signals at the intersection of Kildare Avenue West and Plessis Road, as a result of the road works identified in Clauses 5 above
- b. 100% of the costs of traffic control signals and all related works including, but not necessarily limited to pedestrian and vehicular actuation, and interconnection to adjacent traffic control signals and railway crossing protection, and audible pedestrian signals at the intersection of the Kildare Avenue West extension and Bienvenu Street;

when and as determined by and to the satisfaction of the Director of Public Works.

8. Sidewalks

The Developer shall, at no expense to the City, construct a 1.5m in width by 100mm in thickness Portland cement concrete sidewalk on the standard alignment, 0.3m off of the property line, along:

- a. the north side of the Kildare Avenue West extension between Plessis Road and the centerline of the future Edward Schreyer Parkway roadway, and;
- b. both sides of the extension of Bienvenu Street from Ravelston to Kildare Avenue West;

as determined by and to the satisfaction of the Director of Public Works.

Report – Standing Policy Committee on Property and Development – January 14, 2014

COUNCIL DECISION (continued):

9. Railway Crossing Protection

The Developer shall, pay to the City, in cash, on demand, 50% of the cost of the installation of automatic railway crossing protection, including interconnection to adjacent traffic control signals at the Kildare Avenue West extension crossing of the Central Manitoba Railway, Pine Falls Subdivision, when and as determined by the Director of Public Works.

10. Boulevards

- a. The Developer shall, at no expense to the City, sod, and plant trees on the north boulevard of the Kildare Avenue West extension and both sides of the Bienvenue Street extension within on the Planned Area, all in accordance with City specifications and guidelines and, where required, with concept plans prepared by the Developer and submitted to, and approved by, the Director of Public Works.
- b. The Developer shall, at no expense to the City, maintain the boulevard sod for a period of one year and the boulevard trees for a period of two years, in accordance with specifications approved by the Director of Public Works.

11. Public Reserve

- a. The Developer shall dedicate to the City as Public Reserve land equivalent to 8% of the developable planned area, (the developable planned area shall exclude the lands being zoned PR3) to provide for neighbourhood greenspace.
- b. The Developer shall, at no expense to the City, undertake site improvements and pay its share of the cost of services in streets abutting the dedicated land all in accordance with plans and specifications approved by the Director of Public Works.

Report – Standing Policy Committee on Property and Development – January 14, 2014

COUNCIL DECISION (continued):

- c. If the Developer is unable to dedicate a full 8% of the land, the Developer shall dedicate an amount of land satisfactory to the Directors of Public Works and Property, Planning & Development, and compensate the City for any shortfalls in the amount of land, servicing and improvements not provided, at the then current values, by payment of cash, or, by the provision of an equivalent value of additional site amenities in the public reserves, as approved by the Directors of Public Works and Planning Property and Development.
- d. The location(s), size(s) and configuration(s) of the public park site(s) shall be subject to plan approval by the Director of Public Works and the Director of Planning Property and Development and the East Kildonan-Transcona Community Committee.
- e. The Developer shall, at no cost to the city, install continuous fencing (including but not limited to chain link or bollard style) for properties with side or rear yards abutting public reserve land. Said fence to be located within private property and established by caveat to be the responsibility thereafter of the private property owner to maintain, and any chain link fencing installed be black style chain link fencing but with a preference for bollards, and be subject to approval by the East Kildonan-Transcona Community Committee.
- f. The Developer shall, at no expense to the City, maintain public reserve improvements, in accordance with specifications approved by the Director of Public Works, for a period of two years following City issuance of a Certificate of Total Performance for those public reserve improvements undertaken in each phase of the development in the Planned Area. The City reserves the right to impose longer maintenance terms for amenities and features, such as naturalized areas, that the Director of Public Works deems to be beyond the standard scope of public reserve improvements.
- g. The Developer is, at no expense to the City, responsible for all public reserve lands in each phase of the development in the Planned Area until the City has issued a Final Acceptance Certificate for those public reserve lands.

Report – Standing Policy Committee on Property and Development – January 14, 2014

COUNCIL DECISION (continued):

12. Signage

The Developer shall install signs at the entrances to the subdivision, upon which is displayed a plan of the subdivision showing thereon the locations of all proposed sidewalks, active transportation facilities, community mail boxes, parks, natural tree stands, multiple family sites, the Central Manitoba Railway Pine Falls Line, existing and proposed public streets, Plessis Road and the future Edward Schreyer Parkway, subject to approval by the East Kildonan-Transcona Community Committee.

13. Utilities

- a. The Developer shall pay all costs associated with the installation and/or relocation of street lights and other utilities made necessary as a result of, or required to accommodate, the works to be constructed by the Developer to serve the Planned Area, as determined by and to the satisfaction of the Director of Public Works.
- b. The Developer shall, at no expense to the City, cause underground electrical and telephone services to be installed to serve the proposed subdivision and will pay the full cost to convert any existing overhead services within the proposed subdivision to underground to the satisfaction of the Director of Public Works.

14. Litter and Refuse Control and Clean-Up

The Developer shall, at no expense to the City, and of its own volition, initiate and control the regular cleanup of litter and refuse from the contractors and builders for this development, both on-site and off-site, during the installation of services and construction of buildings, until substantial completion of all construction, as determined by and to the satisfaction of the Director of Public Works.

The cleanup of litter and refuse shall be done on a regular basis as determined by the Director of Public Works. This shall include initiating action and assuming any costs in remedying the situation to the satisfaction of the Director of Public Works.

Report – Standing Policy Committee on Property and Development – January 14, 2014

COUNCIL DECISION (continued):

15. Construction Traffic

The Developer shall ensure that construction traffic uses access routes as determined by the Director of Public Works. The Developer shall maintain, at no expense to the City, the access routes in a clean, dust free and safe condition, free of dropped and tracked-on mud, and shall undertake regular scraping and sweeping of streets until building construction, including landscaping is complete, all as determined by and to the satisfaction of the Director of Public Works.

16. Survey Monuments

Following completion of all major construction works, the Developer shall at its cost have the locations of the survey monuments within the Planned Area verified and, where the survey monuments have been disturbed, moved, covered, mutilated or destroyed, shall have them replaced by a Manitoba Land Surveyor. The Developer shall ensure that the Manitoba Land Surveyor provides the Director of Planning, Property and Development with a certificate stating that all survey monuments within the Planned Area have been verified and/or replaced, as the case may be.

17. The Winnipeg Fleet Management Agency (SOA) shall remove the underground gasoline and diesel storage tanks and any other infrastructure associated with the former fuelling area, including impacted soil one year upon execution of the agreement, all as determined by and to the satisfaction of the Director of Public Works.

18. The City shall develop an area charge to equitably distribute the costs of the following works:

- a. The supply and installation of a pedestrian half signal to be installed on Pegius Street at Ravelston Avenue West.
- b. That removal and remediation, including landscaping of the existing roadway on the portion of Ravelston Avenue West to be closed.
- c. Other works as may be determined.

Report – Standing Policy Committee on Property and Development – January 14, 2014

COUNCIL DECISION (continued):

19. The Developer shall pay to the City, on demand, 100% of the costs of traffic control signals and all related works including, but not necessarily limited to pedestrian and vehicular actuation, and interconnection to adjacent traffic control signals and audible pedestrian signals at the intersection of the Regent Avenue and Bienvenue Street. The City shall endeavour to install the traffic control signals at the intersection of Regent Avenue and Bienvenue Street prior to the completion of pavement works for Kildare Avenue as described in Recommendation 5 and Bienvenue Street as described in Condition 6.

SECTION II – COSTS AND FEES

1. By-laws and Approvals

The Developer shall pay all of its and the City's costs, fees, and expenses associated with the preparation and attainment of approval for registration of the Zoning By-law(s) and plan(s) of subdivision, including all Municipal Board, Land Titles Office and other fees and expenses, all survey, engineering and advertising fees and costs, and all expenses incidental to the preparation of the Agreement and the physical development of the Planned Area.

2. Professional Fees

- a. The Developer shall pay the full cost of all design services, including preliminary engineering studies, servicing reports, servicing criteria, construction drawings and specifications, and grading and landscaping plans and specifications, to be provided by Consulting Engineer(s) approved by the City, for the design of the municipal services, and associated works required to serve the Planned Area;
- b. The Developer shall pay the full cost of construction and landscaping supervision services provided by or on behalf of the City for field inspection, preparation of progress estimates, provision of as-built drawings by March 31 of the year following substantial performance of the work, and all other engineering consulting services related to the installation and acceptance of municipal services, and all associated works to serve the Planned Area.

Report – Standing Policy Committee on Property and Development – January 14, 2014

COUNCIL DECISION (continued):

3. Administration Fees

The Developer shall, prior to the release of the subdivision mylars for registration in the Land Titles Office, pay to the City, \$1200.00/acre of the planned area to help defray the City's administration and related costs associated with the preparation and implementation of the Servicing Agreement.

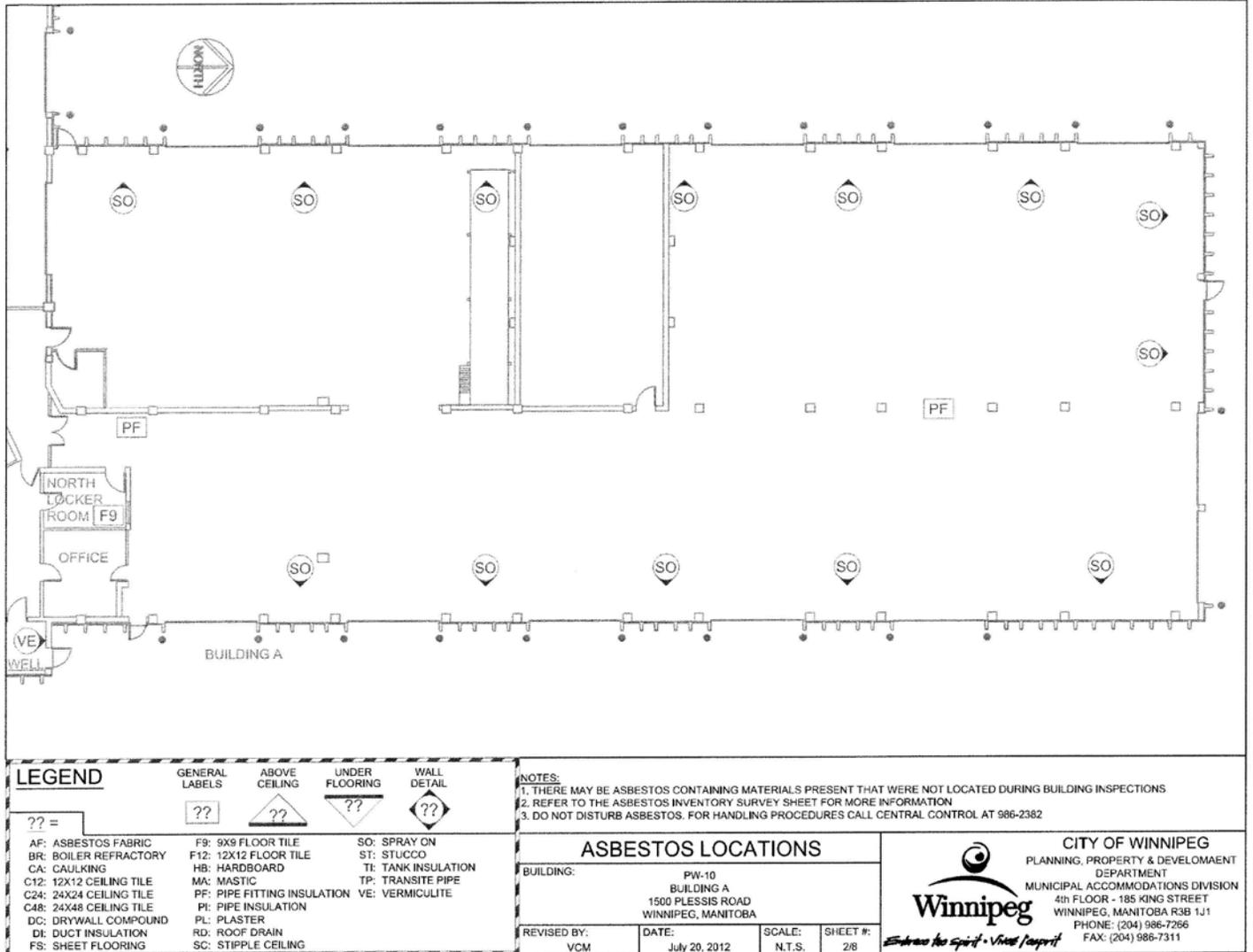
2. That the Winnipeg Zoning By-law No. 200/2006 be amended by rezoning the subject land as shown on Schedule "A" for File DASZ 39/2013 dated October 8, 2013, to an "RMU" Residential Mixed Use district and a "PR3" Parks and Recreation 3 (Regional) district, subject to the following conditions:
 - A. That the future developer enter into a Zoning Agreement with the City pursuant to Section 240 (1) of The City of Winnipeg Charter to include the following conditions:
 - i. That for the development of any building and/or accessory parking area and/or signage, plans shall be submitted showing the location and design of the proposed buildings, accessory parking areas, garbage enclosures, parks, active transportation pads, sidewalks, playgrounds, fencing, lighting, landscaping, bicycle parking and signage to the Director of Planning, Property and Development and the East Kildonan-Transcona Community Committee for plan approval prior to the issuance of any building or development permit, and thereafter all to be maintained to the satisfaction of the Director of Planning, Property and Development.
 - ii. That mobile signs shall not be permitted.
 - iii. That permitted principal uses on Lot 2, block 1, shall be limited to "Transit Station", notwithstanding all permitted accessory uses.
 - iv. That permitted principal uses on Lot 3, Block 1, shall be limited to a "Library" and a YM-YWCA recreation centre, notwithstanding all permitted accessory uses.
3. That the Director of Planning, Property and Development be authorized to certify any documents in connection therewith.

Report – Standing Policy Committee on Property and Development – January 14, 2014

COUNCIL DECISION (continued):

4. That in the event the matter is not proceeded with expeditiously and the by-law is not passed within two years after adoption of the report by Council, the matter shall be deemed to be concluded and shall not be proceeded with unless an extension of time is applied for prior to the expiry of the two-year period and Council approves the extension.
5. That the Director of Legal Services and City Solicitor be requested to prepare the necessary by-law in accordance with the above.
6. That the subdivision section of the by-law shall come into force and effect upon registration by the City of Winnipeg of the Development Agreement.
7. That the zoning section of the by-law shall come into force and effect when the plan of subdivision is registered in the Winnipeg Land Titles Office and the Zoning Agreement is registered in the Winnipeg Land Titles Office by caveat against the subject lands, provided that the said effective date occurs within one year from the date the by-law is passed.
8. That the plan of subdivision shall be approved and signed by the Director of Planning, Property and Development within one year from the date the by-law is passed, failing which the matter shall be deemed to be concluded and shall not be proceeded with unless an extension of time is applied for prior to the expiry of the one-year period and Council approves the extension.
9. That the Council Decision of May 24, 2006, declaring surplus 1500 Plessis Road/849 Ravelston Avenue, be rescinded with respect to the PR3 land and Lot 2 of the RMU land.
10. That the Land Dedication fees payable to the East Kildonan-Transcona Community Committee be earmarked toward the remediation costs of any successful proponent(s).
11. That the Director of Legal Services and City Solicitor be requested to do all things necessary for implementation in accordance with the terms of The City of Winnipeg Charter.
12. That the Proper Officers of the City be authorized to do all things necessary to implement the intent of the foregoing.

Request for Expressions of Interest and Development Proposals
 for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba



Request for Expressions of Interest and Development Proposals
for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba

ASBESTOS INVENTORY CONTROL



Planning, Property and Development Department
Municipal Accommodations Division
4th Floor - 185 King Street • Winnipeg, MB • R3B 1J1

Building Name:	Building B	Inspection Date:	February 8, 2012
Building Code:	PW-10	Inspected By:	Rob Chennells & Nic DeMelo
Building Address:	1500 Plessis Road	Construction Date:	

Material Location	Material Description	Drawing Label	Material Condition	Testing Status	Date M/Y	Test %	Est. %
2nd Floor							
South Stairwell & Entrance & Top Landing	12x12 Floor Tile - Under Sheet flooring	F12	Good				
Reception Area	12x12 Floor Tile - Under Carpet	F12	Good				
Office's	12x12 Floor Tile - Under Carpet	F12	Good				
	24x48 Ceiling Tile	C48	Good	TESTED		0	
Office Washrooms	12x12 Floor Tile	F12	Removed	TESTED	Nov/09	2-5	
North East Training Room	12x12 Floor Tile - Under Carpet	F12	Good				
	24x48 Ceiling Tile	C48	Good	TESTED		0	
N E Storage Room	24x48 Ceiling Tile	C48	Good	TESTED		0	
North West Training Room	Sheet Flooring	FS	Good	TESTED	Oct/08	30-40	
	24x48 Ceiling Tile	C48	Good	TESTED		0	
Men's Washroom	Pipe Fitting Insulation	PF	Removed	TESTED	Nov/09	60-70	
Locker Room Hallway	9x9 Floor Tile	F9	Removed				
Locker Room	9x9 Floor Tile	F9	Good	TESTED	Jun/10	2	
Main Hallway	Sheet Flooring	FS	Good	TESTED	Apr/09	30-40	
	24x48 Ceiling Tile	C48	Removed	TESTED	Feb/09	2-5	
North East Stairwell -North Wall	Contains Vermiculite Insulation (Which May Contain Asbestos)	VE	Good				
Main Floor							
Open Area - Old Stores	Pipe Insulation	PI	Good				
	Pipe Fitting Insulation - Above Ceiling	PF	Good				
	24x48 Ceiling Tile	C48	Good	TESTED		0	
Main Hallway	Pipe Insulation	PI	Good				
	Pipe Fitting Insulation	PF	Good	TESTED		40-50	

Request for Expressions of Interest and Development Proposals
 for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba

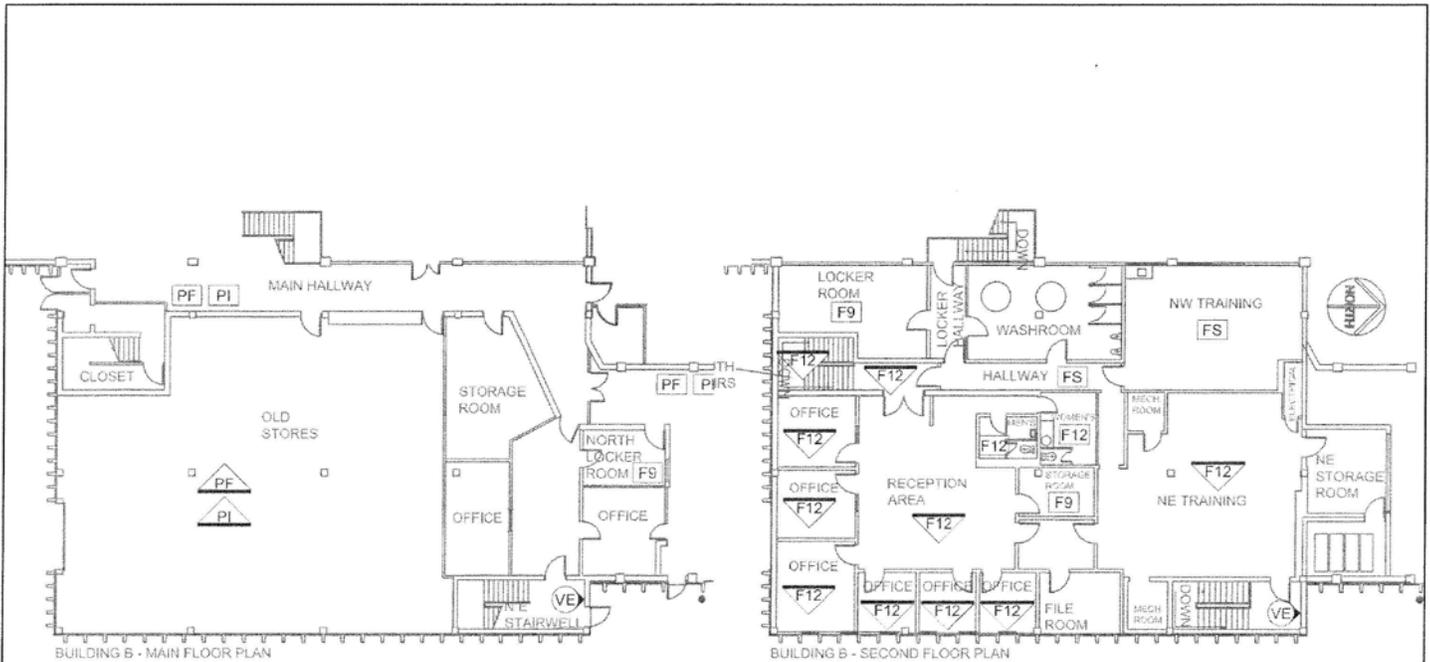
Material Location	Material Description	Drawing Label	Material Condition	Testing Status	Date M/Y	Test %	Est. %
North Locker Room	9x9 Floor Tile	F9	Good				
North East Stairwell -North Wall	Contains Vermiculite Insulation (Which May Contain Asbestos)	VE	Good				

NOTES:

1. Asbestos inspections and inventory updates are conducted annually.
2. There may be asbestos containing materials present that were not located during asbestos inspections.
3. Floor tile and sheet flooring installed before 1990 may contain asbestos and must be treated as an asbestos containing material.
4. Vermiculite insulation may contain pockets of asbestos. All vermiculite insulation must be treated as an asbestos containing material.
5. For asbestos related inquiries, call Central Control at 204-986-2382

PW-10

Request for Expressions of Interest and Development Proposals
for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba



LEGEND		GENERAL LABELS	ABOVE CEILING	UNDER FLOORING	WALL DETAIL
?? =	??	??	??	??	??
AF: ASBESTOS FABRIC	F9: 9X9 FLOOR TILE	SO: SPRAY ON			
BR: BOILER REFRACTORY	F12: 12X12 FLOOR TILE	ST: STUCCO			
CA: CAULKING	HB: HARDBOARD	TI: TANK INSULATION			
C12: 12X12 CEILING TILE	MA: MASTIC	TP: TRANSITE PIPE			
C24: 24X24 CEILING TILE	PF: PIPE FITTING INSULATION	VE: VERMICULITE			
C48: 24X48 CEILING TILE	PI: PIPE INSULATION				
DC: DRYWALL COMPOUND	PL: PLASTER				
DI: DUCT INSULATION	RD: ROOF DRAIN				
FS: SHEET FLOORING	SC: STIPPLE CEILING				

ASBESTOS LOCATIONS			
BUILDING:	PW-10 BUILDING B 1500 PLESSIS ROAD WINNIPEG, MANITOBA		
REVISED BY:	DATE:	SCALE:	SHEET #:
L.S.T.	APRIL 19, 2011	N.T.S.	3/8

CITY OF WINNIPEG	
PLANNING, PROPERTY & DEVELOPMENT DEPARTMENT	
MUNICIPAL ACCOMMODATIONS DIVISION	
4th FLOOR - 185 KING STREET	
WINNIPEG, MANITOBA R3B 1J1	
PHONE: (204) 986-7266	FAX: (204) 986-7311

Request for Expressions of Interest and Development Proposals
for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba

ASBESTOS INVENTORY CONTROL



Planning, Property and Development Department
Municipal Accommodations Division
4th Floor - 185 King Street • Winnipeg, MB • R3B 1J1

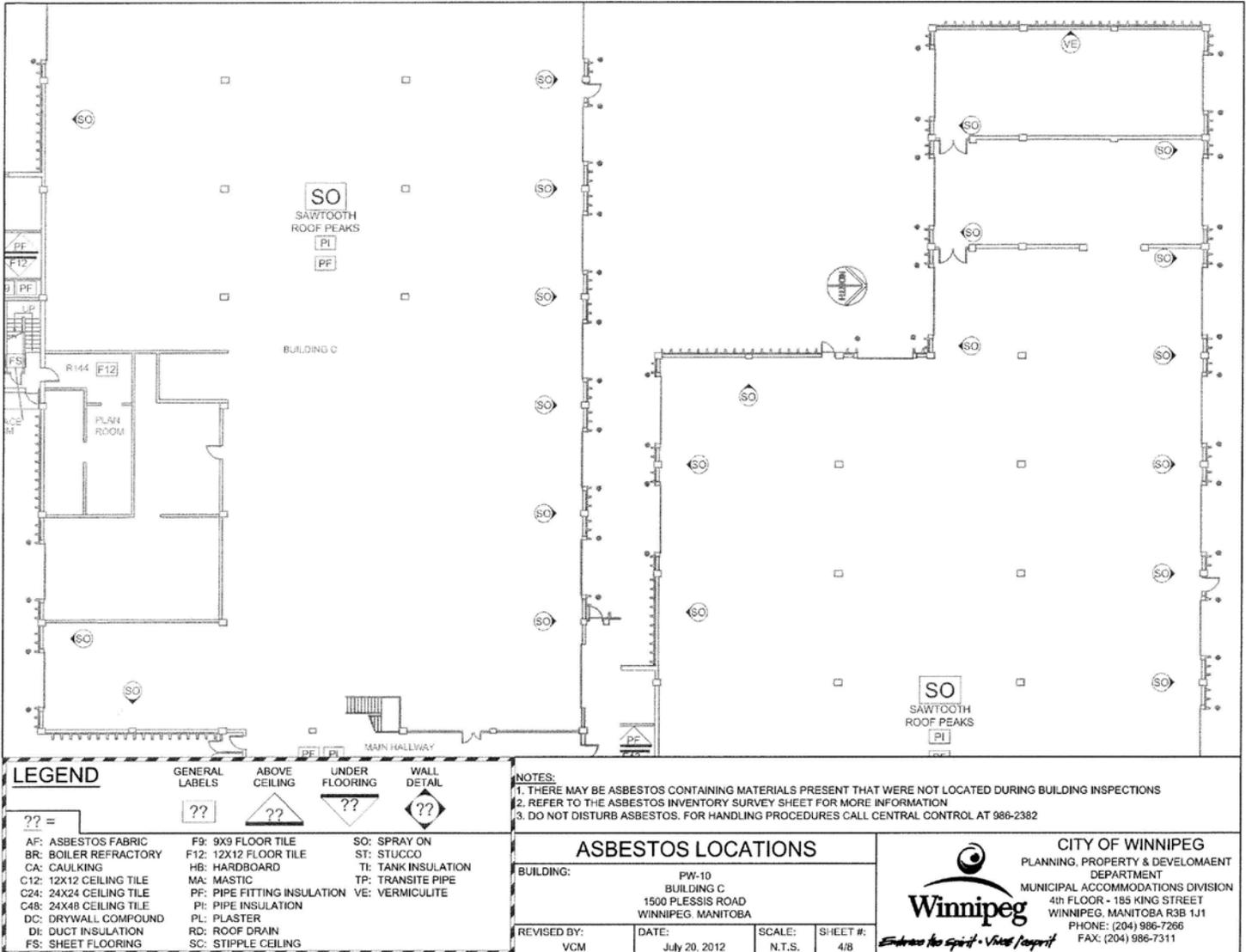
Building Name:	Building C	Inspection Date:	February 8, 2012
Building Code:	PW-10	Inspected By:	Rob Chennells & Nic DeMelo
Building Address:	1500 Plessis Road	Construction Date:	

Material Location	Material Description	Drawing Label	Material Condition	Testing Status	Date M/Y	Test %	Est. %
Garage Areas	Spray On Insulation	SO	Good	TESTED	Apr/'98	20-30	
Various locations tested	Saw Tooth Roof Peaks	SP	Good	TESTED	Jul/'99	2-50	
	Spray On Insulation	SO	Good	TESTED	Apr/'11	10	
Water meter area S.W. corner	Pipe Insulation	PI	Good	TESTED	Dec/'08	>0.01	
	Pipe Fitting Insulation	PF	Good	TESTED	Dec/'08	40	
	Pipe Fitting Insulation	PF	Good	TESTED	Mar/'11	0	
Wash bay near North door	Spray On Insulation	PF	Good	TESTED	Apr/'11	10	
Brine Tank Bay	Vermiculite - Wall	VE	Good				
	West Wall						

- NOTES:**
- Asbestos inspections and inventory updates are conducted annually.
 - There may be asbestos containing materials present that were not located during asbestos inspections.
 - Floor tile and sheet flooring installed before 1990 may contain asbestos and must be treated as an asbestos containing material.
 - Vermiculite insulation may contain pockets of asbestos. All vermiculite insulation must be treated as an asbestos containing material.
 - For asbestos related inquiries, call Central Control at 204-986-2382

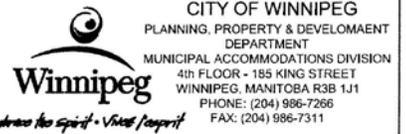
PW-10

Request for Expressions of Interest and Development Proposals
for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba



LEGEND			
GENERAL LABELS	ABOVE CEILING	UNDER FLOORING	WALL DETAIL
?? =	??	??	??
AF: ASBESTOS FABRIC	F9: 9X9 FLOOR TILE	SO: SPRAY ON	
BR: BOILER REFRACTORY	F12: 12X12 FLOOR TILE	ST: STUCCO	
CA: CAULKING	HB: HARDBOARD	TI: TANK INSULATION	
C12: 12X12 CEILING TILE	MA: MASTIC	TP: TRANSITE PIPE	
C24: 24X24 CEILING TILE	PF: PIPE FITTING INSULATION	VE: VERMICULITE	
C48: 24X48 CEILING TILE	PI: PIPE INSULATION		
DC: DRYWALL COMPOUND	PL: PLASTER		
DI: DUCT INSULATION	RD: ROOF DRAIN		
FS: SHEET FLOORING	SC: STIPPLE CEILING		

ASBESTOS LOCATIONS			
NOTES: 1. THERE MAY BE ASBESTOS CONTAINING MATERIALS PRESENT THAT WERE NOT LOCATED DURING BUILDING INSPECTIONS 2. REFER TO THE ASBESTOS INVENTORY SURVEY SHEET FOR MORE INFORMATION 3. DO NOT DISTURB ASBESTOS. FOR HANDLING PROCEDURES CALL CENTRAL CONTROL AT 986-2382			
BUILDING: PW-10 BUILDING C 1500 PLESSIS ROAD WINNIPEG, MANITOBA		CITY OF WINNIPEG PLANNING, PROPERTY & DEVELOPMENT DEPARTMENT MUNICIPAL ACCOMMODATIONS DIVISION 4th FLOOR - 185 KING STREET WINNIPEG, MANITOBA R3B 1J1 PHONE: (204) 986-7266 FAX: (204) 986-7311	
REVISED BY: VCM	DATE: July 20, 2012	SCALE: N.T.S.	SHEET #: 4/8



Request for Expressions of Interest and Development Proposals
for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba

ASBESTOS INVENTORY CONTROL



Planning, Property and Development Department
Municipal Accommodations Division
4th Floor - 185 King Street • Winnipeg, MB • R3B 1J1

Building Name:	Building D	Inspection Date:	January 13, 2012
Building Code:	PW-10	Inspected By:	Vic Mendoza & Karl Bauch
Building Address:	1500 Plessis Road	Construction Date:	

Material Location	Material Description	Drawing Label	Material Condition	Testing Status	Date M/Y	Test %	Est. %
Reception Area Between D & E	Pipe Fitting Insulation - Above Ceiling	PF	Good				
	Plaster - Walls	PL	Good	TESTED	Mar/'11	0	
	Stucco - Ceiling	ST	Good	TESTED	Mar/'10	0	
	12x12 Ceiling Tile	C12	Good	TESTED	Mar/'10	0	
Main Floor							
Room 134	9x9 Floor Tile - Under Carpet	F9	Good				
Room 133	9x9 Floor Tile - Under Carpet	F9	Good				
Hallway	Sheet Flooring	FS	Good	TESTED	Jun/'10	20-30	
Men's Washroom	Sheet Flooring	FS	Good	TESTED	Jun/'10	20-30	
Furnace Room under Stairwell	Sheet Flooring	FS	Good	TESTED	Jun/'10	20-30	
Room 144	12x12 Floor Tile	F12	Good				
MTS Room	Pipe Fitting Insulation	PF	Good				
	9x9 Floor Tile	F9	Needs Repair				
Print Room - Room 129	12x12 Floor Tile - Under Carpet	F12	Good				
	Pipe Fitting Insulation	PF	Good				
Open Cubicle Area	Pipe Fitting Insulation - Above Ceiling	PF	Good				
	Pipe Insulation	PI	Good				
Room 123	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Second Floor							
	Spray On Insulation was tested, no indication of sampled area		Good	TESTED	Jun/'01	40-80	
Stairwell Area	9x9 Floor Tile	F9	Good				
	Spray On Insulation - on ceiling	SO	Good				
Hallway	Spray On Insulation - on ceiling	SO	Good				

Request for Expressions of Interest and Development Proposals
 for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba

Material Location	Material Description	Drawing Label	Material Condition	Testing Status	Date M/Y	Test %	Est. %
Room 232	Spray On Insulation - on ceiling	SO	Good				
	9x9 Floor Tile	F9	Good				
Room 231	Spray On Insulation - on ceiling	SO	Good				
	9x9 Floor Tile	F9	Good				
Room 230	Spray On Insulation - on ceiling	SO	Good				
Room 229	Spray On Insulation - on ceiling	SO	Good				
North Hallway	9x9 Floor Tile	F9	Good				
	Spray On Insulation - on ceiling	SO	Good				
Washrooms	9x9 Floor Tile	F9	Good				
Vault	9x9 Floor Tile	F9	Good				
Room 228	Sheet Flooring	FS	Good				
Furnace Room	Pipe Fitting Insulation	PF	Good				
Room 227	Spray On Insulation - on ceiling	SO	Good				
Room 226	Spray On Insulation - on ceiling	SO	Good				
	9x9 Floor Tile - Under Carpet	F9	Good				
Room 225	Spray On Insulation - on ceiling	SO	Good				
	9x9 Floor Tile - Under Carpet	F9	Good				
Room 224	Spray On Insulation - on ceiling	SO	Good				
	9x9 Floor Tile - Under Carpet	F9	Good				
Room 223	Plaster - Walls	PL		TESTED		0	

NOTES:

1. Asbestos inspections and inventory updates are conducted annually.
2. There may be asbestos containing materials present that were not located during asbestos inspections.
3. Floor tile and sheet flooring installed before 1990 may contain asbestos and must be treated as an asbestos containing material.
4. Vermiculite insulation may contain pockets of asbestos. All vermiculite insulation must be treated as an asbestos containing material.
5. For asbestos related inquiries, call Central Control at 204-986-2382

PW-10

Request for Expressions of Interest and Development Proposals
for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba



LEGEND				NOTES:			
GENERAL LABELS	ABOVE CEILING	UNDER FLOORING	WALL DETAIL	1. THERE MAY BE ASBESTOS CONTAINING MATERIALS PRESENT THAT WERE NOT LOCATED DURING BUILDING INSPECTIONS			
?? =	??	??	??	2. REFER TO THE ASBESTOS INVENTORY SURVEY SHEET FOR MORE INFORMATION			
AF: ASBESTOS FABRIC	F9: 9X9 FLOOR TILE	SO: SPRAY ON		3. DO NOT DISTURB ASBESTOS. FOR HANDLING PROCEDURES CALL CENTRAL CONTROL AT 986-2382			
BR: BOILER REFRACTORY	F12: 12X12 FLOOR TILE	ST: STUCCO		ASBESTOS LOCATIONS			
CA: CAULKING	HB: HARDBOARD	TI: TANK INSULATION					
C12: 12X12 CEILING TILE	MA: MASTIC	TP: TRANSITE PIPE		BUILDING:	PW-10	 CITY OF WINNIPEG PLANNING, PROPERTY & DEVELOPMENT DEPARTMENT MUNICIPAL ACCOMMODATIONS DIVISION 4th FLOOR - 185 KING STREET WINNIPEG, MANITOBA R3B 1J1 PHONE: (204) 986-7266 FAX: (204) 986-7311	
C24: 24X24 CEILING TILE	PF: PIPE FITTING INSULATION	VE: VERMICULITE			BUILDING D		
C48: 24X48 CEILING TILE	PI: PIPE INSULATION				1500 PLESSIS ROAD		
DC: DRYWALL COMPOUND	PL: PLASTER				WINNIPEG, MANITOBA		
DI: DUCT INSULATION	RD: ROOF DRAIN			REVISED BY:	L.S.T.	DATE:	APRIL 19, 2011
FS: SHEET FLOORING	SC: STIPPLE CEILING			SCALE:	N.T.S.	SHEET #:	5/8

Request for Expressions of Interest and Development Proposals
for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba

ASBESTOS INVENTORY CONTROL



Planning, Property and Development Department
Municipal Accommodations Division
4th Floor - 185 King Street • Winnipeg, MB • R3B 1J1

Building Name:	Building E	Inspection Date:	January 13, 2012
Building Code:	PW-10	Inspected By:	Vic Mendoza & Karl Bauch
Building Address:	1500 Plessis Road	Construction Date:	

Material Location	Material Description	Drawing Label	Material Condition	Testing Status	Date M/Y	Test %	Est. %
Main Floor							
Room 118 behind receptionist	12x12 Floor Tile - Under Carpet	F12	Good				
	Pipe Fitting Insulation	PF	Good				
Back Hallway	12x12 Floor Tile	F12	Good				
	Plaster - Walls	PL	Good	TESTED	Mar/11	0	
Room 113 - Technicians Area	Pipe Fitting Insulation - Above Ceiling	PF	Good				
	12x12 Floor Tile	F12	Good				
Room 117	Pipe Fitting Insulation - Above Ceiling	PF	Good				
	12x12 Floor Tile	F12	Good				
Room 116 - Network Server	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Women's Washroom	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Men's Washroom	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Room 112	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Room 111	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Room 110	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Hallway and Stairwell	12x12 Floor Tile	F12	Good				
Room 109	Pipe Fitting Insulation - Above Ceiling	PF	Good				
	12x12 Floor Tile	F12	Good				
Kitchen	Pipe Fitting Insulation - Above Ceiling	PF	Good				
	12x12 Floor Tile	F12	Good				
	Sheet Flooring	FS	Good				
Kitchen's Storage Area	Sheet Flooring	FS	Good				
Room 108 - Reception	12x12 Floor Tile - Under Carpet	F12	Good				
Room 108 - Washrooms	12x12 Floor Tile	F12	Good				
Room 104	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Room 107	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Room 106	Pipe Fitting Insulation - Above Ceiling	PF	Good				

Request for Expressions of Interest and Development Proposals
for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba

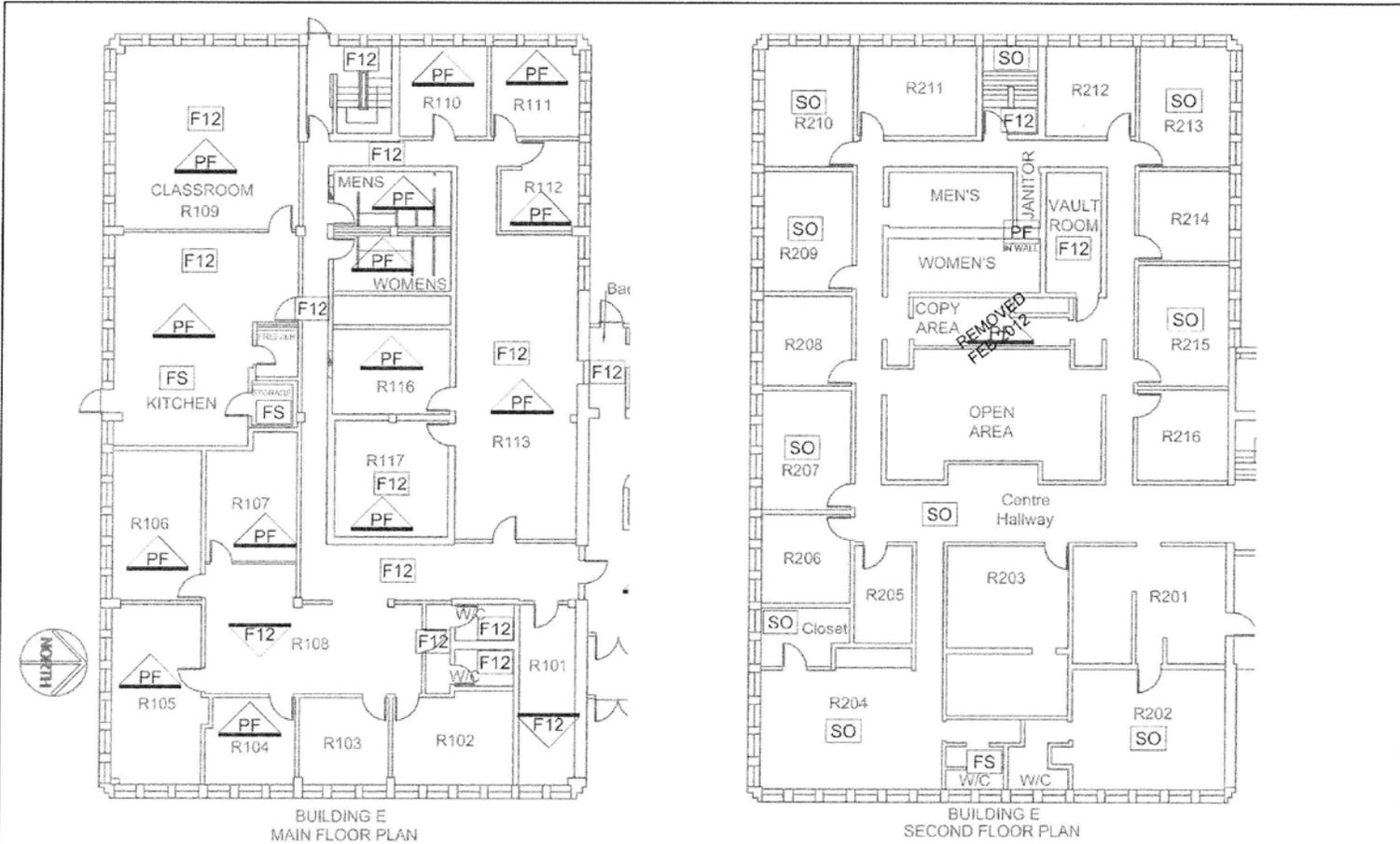
Material Location	Material Description	Drawing Label	Material Condition	Testing Status	Date M/Y	Test %	Est. %
Room 105	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Room 101	12x12 Floor Tile - Under Carpet	F12	Good				
	Spray On Insulation was tested, no indication of sampled area		Good	TESTED	Jun/'01	40-80	
Second Floor							
Room 202	Spray On Insulation - on ceiling	SO	Good				
Room 204	Spray On Insulation - on ceiling	SO	Good				
Room 204 Washroom	Sheet Flooring	FS	Good				
Room 204 Closet	Spray On Insulation - on ceiling	SO	Good				
Hallway - Center	Spray On Insulation - on ceiling	SO	Good				
Room 207	Spray On Insulation - on ceiling	SO	Good				
Copy area	Pipe Fitting Insulation - Above Ceiling	PF	Removed		Feb/'12		
Room 209	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Room 210	Pipe Fitting Insulation - Above Ceiling	PF	Good				
West Stairwell	Pipe Fitting Insulation - Above Ceiling	PF	Good				
	12x12 Floor Tile	F12	Good				
Room 213	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Vault Room	12x12 Floor Tile	F12	Good				
Room 215	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Room 203	Plaster - Walls	PL	Good	TESTED	Mar/'10	0	
Basement							
Mechanical Room	Pipe Fitting Insulation	PF	Good				
Heater Coil Lines	Pipe Fitting Insulation	PF	Good				
Circulation Pump Lines	Pipe Fitting Insulation	PF	Good				
Storage Room	Pipe Fitting Insulation	PF	Good				
Stairwell	12x12 Floor Tile	F12	Good				

NOTES:

1. Asbestos inspections and inventory updates are conducted annually.
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3. Floor tile and sheet flooring installed before 1990 may contain asbestos and must be treated as an asbestos containing material.
4. Vermiculite insulation may contain pockets of asbestos. All vermiculite insulation must be treated as an asbestos containing material.
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PW-10

Request for Expressions of Interest and Development Proposals
for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba

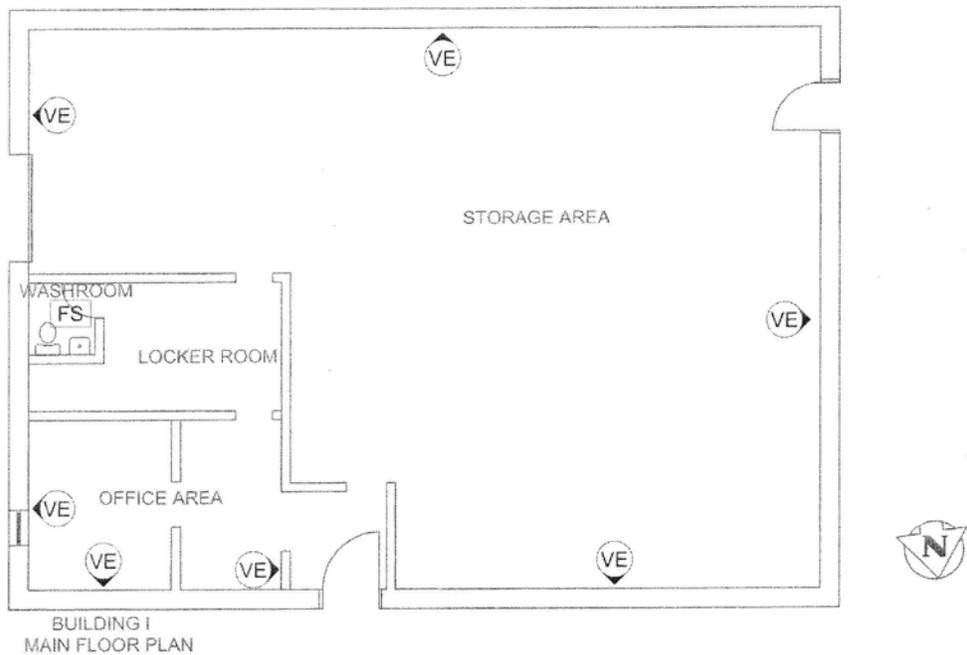


LEGEND		GENERAL LABELS	ABOVE CEILING	UNDER FLOORING	WALL DETAIL
?? =	??	??	??	??	??
AF: ASBESTOS FABRIC	F9: 9X9 FLOOR TILE	SO: SPRAY ON			
BR: BOILER REFRACTORY	F12: 12X12 FLOOR TILE	ST: STUCCO			
CA: CAULKING	HB: HARDBOARD	TI: TANK INSULATION			
C12: 12X12 CEILING TILE	MA: MASTIC	TP: TRANSITE PIPE			
C24: 24X24 CEILING TILE	PF: PIPE FITTING INSULATION	VE: VERMICULITE			
C48: 24X48 CEILING TILE	PI: PIPE INSULATION				
DC: DRYWALL COMPOUND	PL: PLASTER				
DI: DUCT INSULATION	RD: ROOF DRAIN				
FS: SHEET FLOORING	SC: STIPPLE CEILING				

ASBESTOS LOCATIONS			
BUILDING:	PW-10 BUILDING E 1500 PLESSIS ROAD WINNIPEG, MANITOBA		
REVISED BY:	DATE:	SCALE:	SHEET #:
L.S.T.	APRIL 19, 2011	N.T.S.	6/8

CITY OF WINNIPEG	
PLANNING, PROPERTY & DEVELOPMENT DEPARTMENT	
MUNICIPAL ACCOMMODATIONS DIVISION	
4th FLOOR - 185 KING STREET WINNIPEG, MANITOBA R3B 1J1	
PHONE: (204) 986-7266	FAX: (204) 986-7311

Request for Expressions of Interest and Development Proposals
 for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba



LEGEND

GENERAL LABELS	ABOVE CEILING	UNDER FLOORING	WALL DETAIL
?? =	??	??	??
AF: ASBESTOS FABRIC	F9: 9X9 FLOOR TILE	SO: SPRAY ON	
BR: BOILER REFRACTORY	F12: 12X12 FLOOR TILE	ST: STUCCO	
CA: CAULKING	HB: HARDBOARD	TI: TANK INSULATION	
C12: 12X12 CEILING TILE	MA: MASTIC	TP: TRANSITE PIPE	
C24: 24X24 CEILING TILE	PF: PIPE FITTING INSULATION	VE: VERMICULITE	
C48: 24X48 CEILING TILE	PI: PIPE INSULATION		
DC: DRYWALL COMPOUND	PL: PLASTER		
DI: DUCT INSULATION	RD: ROOF DRAIN		
FS: SHEET FLOORING	SC: STIPPLE CEILING		

NOTES:

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3. DO NOT DISTURB ASBESTOS. FOR HANDLING PROCEDURES CALL CENTRAL CONTROL AT 986-2382

ASBESTOS LOCATIONS

BUILDING:	PW-10 BUILDING I 1500 PLESSIS ROAD WINNIPEG, MANITOBA
REVISED BY:	RSFC
DATE:	FEBRUARY 15, 2012
SCALE:	N.T.S.
SHEET #:	8/8

CITY OF WINNIPEG
 PLANNING, PROPERTY & DEVELOPMENT DEPARTMENT
 MUNICIPAL ACCOMMODATIONS DIVISION
 4th FLOOR - 185 KING STREET
 WINNIPEG, MANITOBA R3B 1J1
 PHONE: (204) 986-7266
 FAX: (204) 986-7311

Request for Expressions of Interest and Development Proposals
for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba

ASBESTOS INVENTORY CONTROL



Planning, Property and Development Department
Municipal Accommodations Division
4th Floor - 185 King Street • Winnipeg, MB • R3B 1J1

Building Name:	Public Work Complex	Inspection Date:	December 5, 2011
Building Code:	PW-12	Inspected By:	Vic Mendoza & Karl Bauch
Building Address:	849 Ravelston Avenue	Construction Date:	

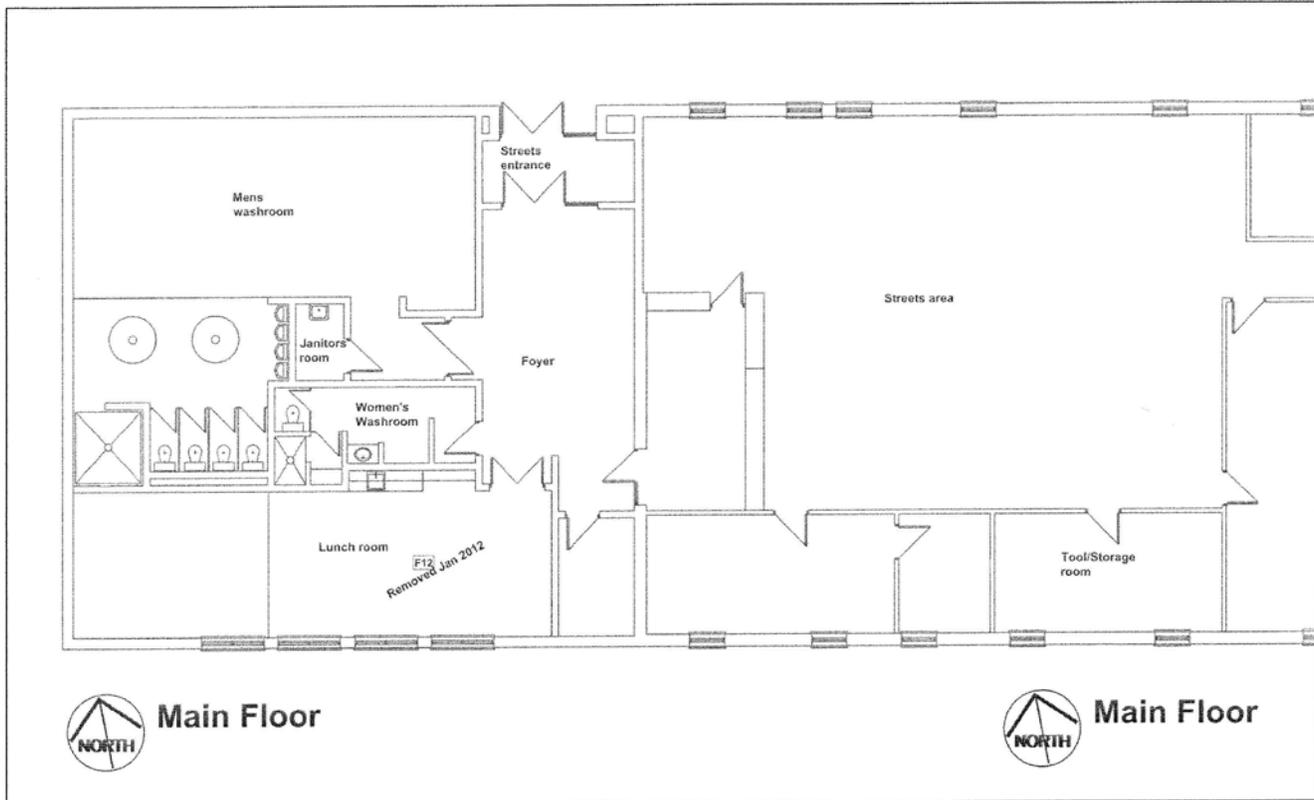
Material Location	Material Description	Drawing Label	Material Condition	Testing Status	Date M/Y	Test %	Est. %
Streets Maintenance (West Entrance)							
Front Entrance/Waiting Area	Sheet Flooring	FS	Good	TESTED	Dec/'11	0	
Men's Washroom	Sheet Flooring	FS	Good	TESTED	Dec/'11	0	
Crawlspace (Hatch in Janitors Room)	No asbestos containing materials located						
Lunch Room	Sheet Flooring	FS	Good	TESTED	Dec/'11	0	
	12x12 Floor Tile	F12	Removed, Jan 12	TESTED	Dec/'11	2	
Tool/Storage Room	12x12 Floor Tile	F12	Good	TESTED	Dec/'11	0	
	Sheet Flooring	FS	Good				
East Entrance							
Main Area	12x12 Ceiling Tile	C12		TESTED	Dec/'11	0	
Board Room	12x12 Floor Tile under 24x24 tiles	F12	Good	TESTED	Dec/'11	3	
North Entrance Vestibule	12x12 Floor Tile under sheet flooring	F12	Good	TESTED	Dec/'11	3	
Block walls	Randomly Inspected & Appear To Be Empty (Do Not Contain Vermiculite Insulation)						
Far East Entrance							
	No keys - not inspected yet						

NOTES:

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PW-12

Request for Expressions of Interest and Development Proposals
 for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba



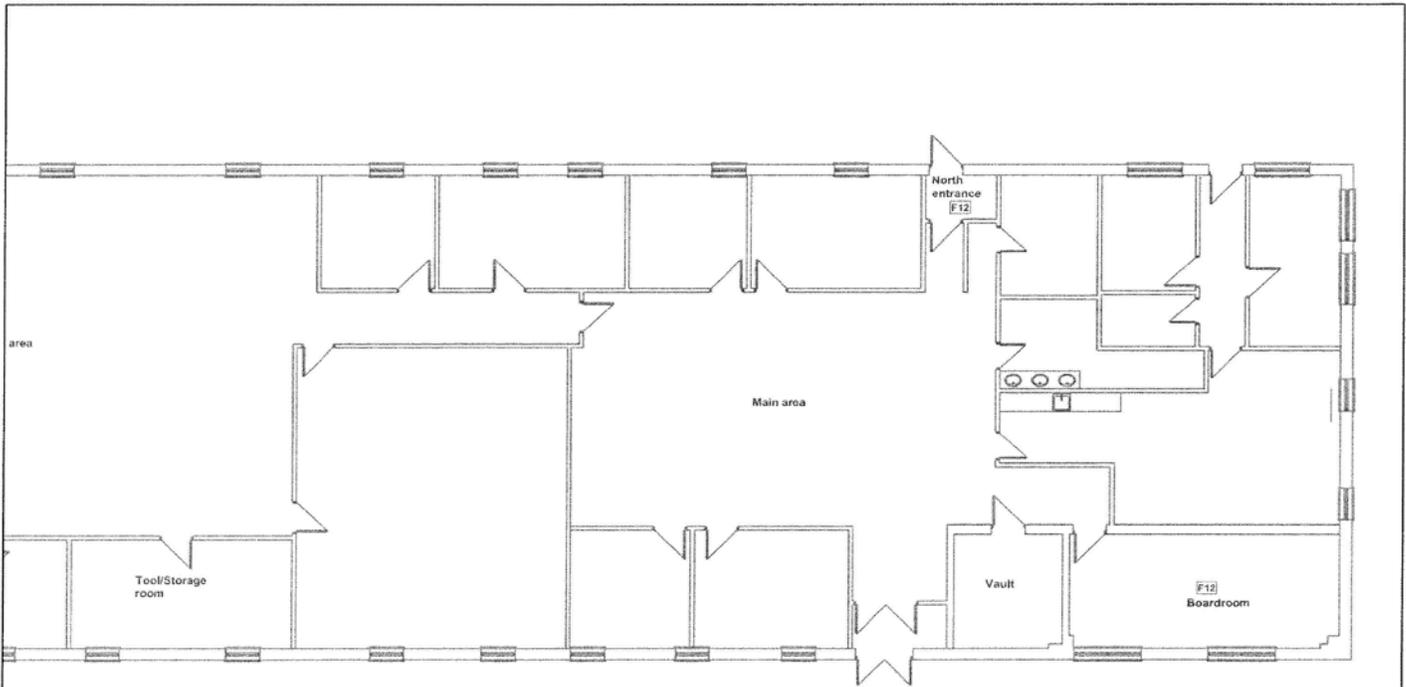
LEGEND		GENERAL LABELS	ABOVE CEILING	UNDER FLOORING	WALL DETAIL
?? =	??	??	??	??	??
AF: ASBESTOS FABRIC	F9: 9X9 FLOOR TILE	SO: SPRAY ON			
BR: BOILER REFRACTORY	F12: 12X12 FLOOR TILE	ST: STUCCO			
CA: CAULKING	HB: HARDBOARD	TI: TANK INSULATION			
C12: 12X12 CEILING TILE	MA: MASTIC	TP: TRANSITE PIPE			
C24: 24X24 CEILING TILE	PF: PIPE FITTING INSULATION	VE: VERMICULITE			
C48: 24X48 CEILING TILE	PI: PIPE INSULATION				
DC: DRYWALL COMPOUND	PL: PLASTER				
DI: DUCT INSULATION	RD: ROOF DRAIN				
FS: SHEET FLOORING	SC: STIPPLE CEILING				

ASBESTOS LOCATIONS			
BUILDING:	PW-16 Public Works Building 849 Ravelston Ave Winnipeg, Manitoba		
REVISED BY:	DATE:	SCALE:	SHEET #:
RSFC	January 4, 2012	N.T.S.	1/2

CITY OF WINNIPEG	
PLANNING, PROPERTY & DEVELOPMENT DEPARTMENT	MUNICIPAL ACCOMMODATIONS DIVISION
4th FLOOR - 185 KING STREET WINNIPEG, MANITOBA R3B 1J1	
PHONE: (204) 986-7266	FAX: (204) 986-7311

Enhance the Spirit - Vivez l'esprit

Request for Expressions of Interest and Development Proposals
 for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba



 **Main Floor**

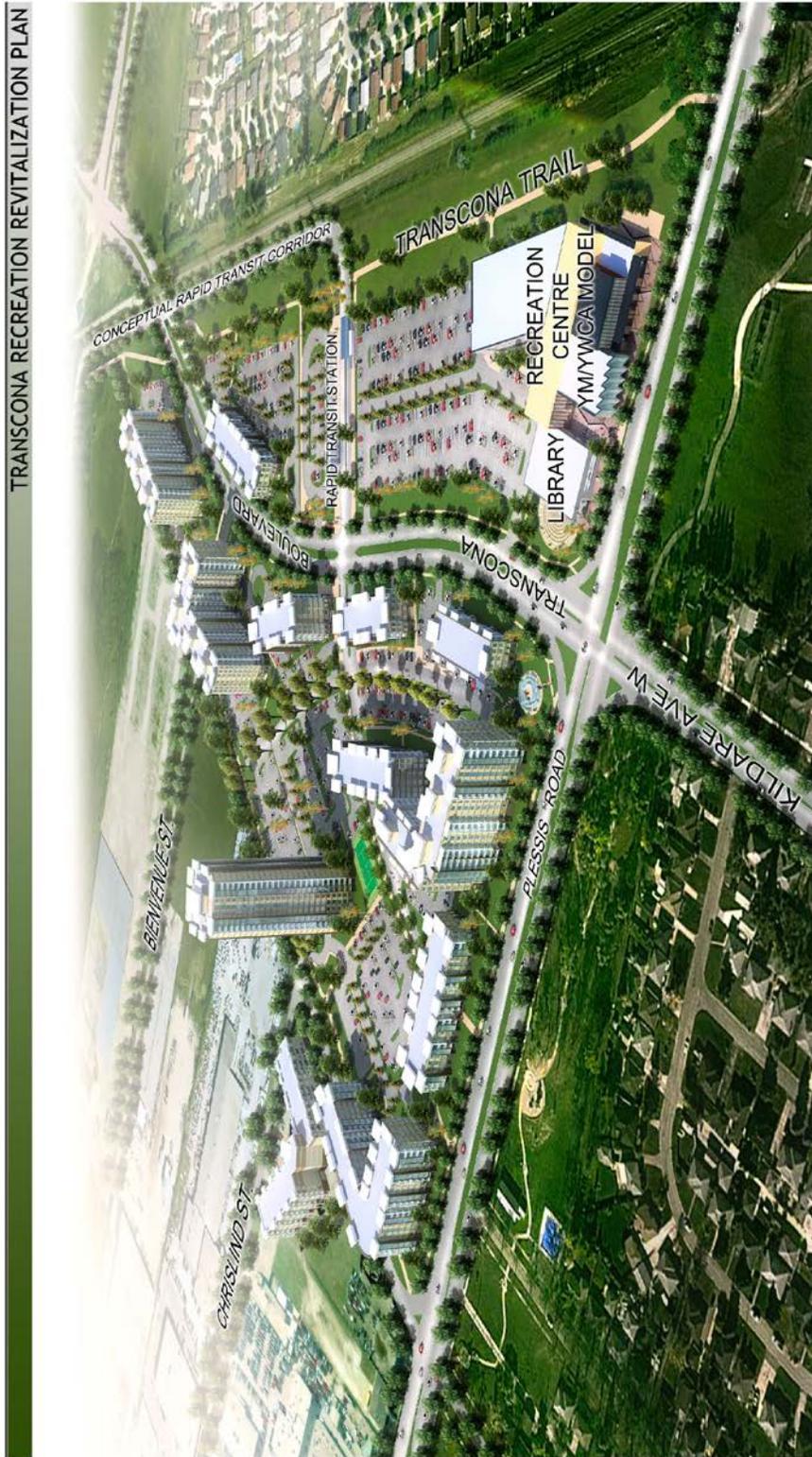
LEGEND		GENERAL LABELS	ABOVE CEILING	UNDER FLOORING	WALL DETAIL
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AF: ASBESTOS FABRIC	F9: 9X9 FLOOR TILE	SO: SPRAY ON			
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NOTES:			
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2. REFER TO THE ASBESTOS INVENTORY SURVEY SHEET FOR MORE INFORMATION			
3. DO NOT DISTURB ASBESTOS. FOR HANDLING PROCEDURES CALL CENTRAL CONTROL AT 986-2382			

ASBESTOS LOCATIONS			
BUILDING: PW-12 Public Works Building 849 Ravelston Ave Winnipeg, Manitoba			
REVISED BY: RSFC	DATE: December 15, 2011	SCALE: N.T.S.	SHEET #: 2/2

	
CITY OF WINNIPEG	
PLANNING, PROPERTY & DEVELOPMENT DEPARTMENT	
MUNICIPAL ACCOMMODATIONS DIVISION	
4th FLOOR - 185 KING STREET WINNIPEG, MANITOBA R3B 1J1	
PHONE: (204) 986-7266 FAX: (204) 986-7311	

Schedule "F"



CONCEPTUAL BUILDING PLAN

MAY 2013

PARK CITY PLAZA (1500 PLESSIS ROAD)





PARK CITY PLAZA (1500 PLESSIS ROAD)

CONCEPTUAL DEVELOPMENT PLAN

TRANSCONA RECREATION REVITALIZATION PLAN