



**City of Winnipeg
Planning, Property and Development Department**

**Invitation for Expressions of Interest for Sale and
Redevelopment of the
City Owned Property Located at
1500 Plessis Road/849 Ravelston Avenue West
Winnipeg, Manitoba**

EOI # 987 – 2012

1.0 INTRODUCTION

The City of Winnipeg (City) invites Expressions of Interest (EOI) from Proponents, with respect to the sale and redevelopment of 1500 Plessis Road/849 Ravelston Avenue West.

As per OurWinnipeg, the Complete Communities Direction Strategy, and the Transcona West Area Structure Plan, the site is intended to be developed as a high density, mixed use, transit-oriented development that will include the integration of a multi-use recreation area.

This information package provides a brief overview of the property and the associated terms of reference for this EOI.

2.0 LOCATION

The subject City property is located on the north west corner of Plessis Road and Ravelston Avenue West and is shown as **“Subject City Property”** outlined on the attached Misc. Plan No. 14268/10, shown appended as “Schedule A”. **Within the Subject City Property, Lots 2 and 3, Block 1, are to be retained by the City for future development of public facilities, and therefore are not being offered for sale in this EOI.**

3.0 BACKGROUND

The property is the former location of the City of Winnipeg District No. 4 Operations and Waterworks, Waste and Disposal Departments, housing a small industrial complex of offices, shops and warehousing facilities comprising approximately 82,500 square feet, staff parking and fenced storage including storage of roadsalt/sand mix. It is currently zoned “M1” Manufacturing Light Industrial.

The City will be vacating the property in the fall of 2013, with the completion of the new East Yards facility.

The Subject City property, **with the exception of Lots 2 and 3, Block 3, as noted in Section 2.0 herein**, is being offered vacant with possession to be arranged. **Proponent is to be responsible, at its expense, for demolition of existing buildings within the “Subject City Property”.**

4.0 COUNCIL DIRECTIVE

On May 24, 2006, Council declared 1500 Plessis Road/849 Ravelston Avenue as surplus when vacated and to be made available for sale in accordance with the Public Works-Water and Waste Facilities Master Plan.

5.0 PREVIOUS STUDIES

5.1 Environmental Assessments

Phase I and II Environmental Site Assessments (ESA) were completed for the City by AMEC Environment & Infrastructure in 2012. Areas of concern associated with the use or storage of petroleum hydrocarbons (PHC), soil salinity, metal parameters, polycyclic aromatic hydrocarbons (PAHs), and polychlorinated biphenyls (PCBs) were assessed.

Electronic Copies of the Phase I and Phase II ESA's are available on request from the Contact Person herein.

The City hereby discloses that some components of the buildings may contain various forms of asbestos, including but not limited to the itemized list provided in Schedule C herein. The Proponent will be responsible for the safe removal of the asbestos and any other hazardous materials as part of the demolition process.

The subject City property is offered in a **“as-is, where is”** condition, and it is the responsibility of the Proponent to do its own due diligence in this regard.

The Proponent shall be required, at its expense, to remediate the Subject City Property to an environmental standard acceptable to Manitoba Conservation for the intended residential and park development uses.

6.0 CURRENT STATUS

6.1 Planning

6.1.1 OurWinnipeg and Complete Communities

The Complete Communities Direction Strategy is one of four direction strategies supporting OurWinnipeg, the city's new long-range development plan, and has gained statutory authority as a secondary plan. The strategy serves as a “playbook” to guide land use and development in Winnipeg. It received third reading at City Council on July 20, 2011, and became effective on August 17, 2011.

According to the Complete Communities Urban Structure map, the site is designated as a “Major Redevelopment Site”. Major Redevelopment Sites will provide transformative opportunities for the development of complete communities with significant residential and employment densities and attractive urban design, capitalizing on vacant or underutilized sites within the existing urban fabric. Supporting Direction and Enabling Strategies include:

- Promote development of Major Redevelopment Sites with proactive and collaborative planning process.
- Capitalize on the proximity of Major Redevelopment Sites to rapid transit and high frequency transit.
- Major Redevelopment Sites will provide for complete communities with significant levels of mixed use, high density development, with strong urban design and attractive parks, places, and open spaces.

Electronic copies of OurWinnipeg and Complete Communities can be found online at the following website: <http://speakupwinnipeg.com/ourwinnipeg/>.

6.1.2 Transcona West Area Structure Plan

The subject site falls within the boundaries of the Transcona West Area Structure Plan, which serves as a “blueprint” for the future development of the area.

This Plan shows an extended Kildare Avenue bisecting the subject site.

On the north half, the subject site is designated as “Proposed Residential Mixed Use”. The purpose of these areas is to create community focal points with mixed use development that is strategically located within the plan area adjacent to major roadways and transit services. They should contain a grouping of retail and/or service commercial uses integrated with complementary uses such as public open space, single, and multiunit residential development. Section 5.4.2(4) outlines suggested design criteria for Residential Mixed Use areas.

The south half of the site is designated as “Proposed Commercial Use”. The purpose of these areas is to permit and include a variety of retail, commercial, office, and institutional uses including regional commercial uses. Section 5.3.2(4) outlines suggested design criteria for Commercial areas.

The Plan identifies the location of a rapid transit station on the site to be located in the vicinity of Plessis and Kildare. It notes that Mixed Use Areas located in the vicinity of rapid transit stations planned for the Eastern Transit Corridor shall provide convenient and direct pedestrian access to the stations, shall provide efficient roadway access to the transit corridor by transit

vehicles, and shall provide convenient access to Park and Ride lots by vehicles.

Electronic copies of the Transcona West Area Structure Plan can be found online at:

<http://www.winnipeg.ca/CLKDMIS/DocExt/ViewDoc.asp?DocumentTypeId=1&DocId=4382&DocType=O>.

Note:

The City is making application in September, 2013 for an Amendment to the Transcona West Secondary Plan to permit RMU (Residential Mixed Use) and PR3 (Parks & Recreation Regional) on those areas of the Subject City Property shown on the attached Misc. Plan No. 14268/10.

6.1.3 Proposed multi-use recreation area

The City of Winnipeg shall retain approximately 9.2 acres of land that shall be set aside for public facilities in the north east quadrant of the parcel. This land is shown on Misc. Plan No. 14268/10 as Lots 2 and 3, Block 1 and these lots will be created subject to the approval of application DASZ 39/13 by Council. These lands may include a multi-use recreation centre (35,000 sq. ft.) and potentially a community library (14,000 sq. ft.). This parcel should be linked as per the Transit Oriented Development Handbook to the proposed Transit Station and existing community AT facilities. Final site configuration shall be determined in consultation with the successful Proponent to the satisfaction of the City.

6.1.4 Other planning considerations

It is expected that the site will be developed in accordance with Transit-Oriented Development (TOD) principles. These are outlined in the City's Transit-Oriented Development Handbook, which can be found at the following link: <http://www.winnipeg.ca/ppd/TOD/pdf/Handbook.pdf>. And the TOD Checklist at: <http://www.winnipeg.ca/ppd/TOD/pdf/Checklist.pdf>.

The following provides a summary of some concepts in the Transit Oriented Development Handbook that could be applied to this Major Redevelopment Site:

- The Complete Communities Direction Strategy advises that development alongside rapid transit stations should be developed in accordance with transit oriented development principles.
- The Transcona West Area Structure Plan identifies a future rapid transit station in the vicinity of Plessis and Kildare.

- The City of Winnipeg has a Transit Oriented Development Handbook to guide such development. It was endorsed in principle by Council on February 22, 2012.
- The TOD Handbook is a high-level framework document that guides and facilitates mixed-use, pedestrian-oriented infill development along rapid transit corridors and high frequency transit corridors.
- While the bulk of the Handbook deals with higher-level issues, there are a number of Principles that can be applied at a site-specific level such as the proposed development. Specifically, it highlights six:
 1. Medium to high density development that is greater than the community average.
 2. A mix of uses.
 3. Compact, high quality pedestrian-oriented environment.
 4. An active, defined centre.
 5. Innovative parking strategies.
 6. Public leadership.
- Among these above noted Principles, some key supporting points include:
 - Highest densities and heights near station – The immediate area around the station should generally contain the greatest intensity and mix of uses.
 - Ground floor active uses – A range of uses, conveniently located close to the station entrance, will promote activity within the station area. Higher intensity development with active ground floor uses (such as shops and/or restaurants) sensitively clustered within a short walk of station entries, will assist in promoting transit ridership and the creation of “18 hour places”.
 - Make connections through urban form – The relationship between existing community elements (buildings, streets, sidewalks) and the new transit infrastructure should be assessed as part of the design process to determine if a linked series of spaces and available routes make it easy to access the station.
 - Design these and details – High quality architectural design and detail should be provided conveying a sense of place and relating to the street and the pedestrian environment, including active first floor storefront windows, awnings, architectural features, lighting, and landscaping.
 - Urban parks and open space – Urban parks, gathering places and plazas, including public art.
 - Pedestrian oriented environment – Pedestrian oriented design to encourage waling and community interaction with ground floor uses and spaces.
 - Connections – Incorporation of connections between buildings, the station and the Active Transportation network to ease movement within the site and encourage cycling to mid-distance destinations.
 - Parking as urban form – Minimize surface parking and plan for parking on an area or district basis rather than building by building.

Any surface parking should be balance with structured and underground parking. Parking provided on-site should be located to the side or rear of buildings, rather than in the front yard. Any parking facilities should be integrated with the development theme and screened from adjacent land uses. Some short-term parking would be appropriate in front of ground floor retail uses. Bicycle parking should be provided at convenient locations in proximity to building entrances, but outside the path of pedestrian travel.

Any and all costs related to zoning, subdivision or dedication fees and street closings or openings related to the redevelopment of the property are at the expense of the Proponent.

Note:

The City has filed an application (DASZ 39/13) to rezone and subdivide the Subject Property to create the RMU and PR3 (Residential Mixed Use and Parks and Recreation Regional) zoning and land parcels shown on the attached Misc. Plan No. 14268/10.

The Purchaser will be required to enter into zoning and servicing agreements containing all of the conditions approved by Council applicable to this rezoning and subdivision application (DASZ39/13).

For further information, contact area planner Mr. Michael Pyl at 204-986-5595.

6.2 Services

Transportation:

The Transcona West Area Structure Plan (July 2008 – Map 5) identifies the proposed streets to be opened/closed within the limits of the subject City property.

The Purchaser will be required to enter into zoning and servicing agreements containing all of the conditions approved by Council applicable to this rezoning and subdivision application (DASZ39/13). These conditions are expected to include, but not be limited to, the following:

1. A Traffic Impact Study by a qualified professional engineering firm may be required to the satisfaction of the Director of Public Works Department prior to development.
2. As part of any proposed development of the subject City property, the Proponent shall be responsible for the construction of: (1) 2 lanes of pavement and the accompanying full range of municipal services for the

extension of Kildare Avenue, west of Plessis Road on an alignment agreeable to the City, up to the easterly limit of the planned area on the Ravelston Avenue right-a-way contained in application DASZ 10/13. The City shall be responsible for the installation of the other 2 lanes of pavement in this area of Ravelston Avenue, as Ravelston Avenue is required to be a 4 lane roadway. (2) provide the full range of municipal services, including pavement, for the extension of Bienvenu Street north to the new extension of Kildare Avenue West.

3. Other road works required as part of the rezoning/subdivision will include but not be limited to: intersection works at Plessis Road and Kildare Avenue West including modifications to existing traffic control signals, intersection works at the future Ed Schreyer Parkway and Kildare Avenue West including traffic signals and the CEMR railway crossing.

For detailed information on specific streets requirements contact: Luis Escobar, Public Works Department, 204 - 986-5895.

Sewer and Water:

Information on the existing infrastructure is available at the City of Winnipeg, Underground Structures Branch – 204-986-6401.

It is the responsibility of the Proponent to satisfy itself that sufficient services are available to develop the subject City property for its proposed uses.

The Proponent shall be required to provide a detailed servicing report prepared by a qualified engineer for review and approval by the City prior to any development taking place.

As part of any proposed development, the Proponent shall be required to enter into a servicing agreement with the City to construct, at no expense to the City, all watermains, wastewater sewers and land drainage sewers required to serve the Subject City Property and any other conditions for a Servicing Agreement set out by Council, assuming its approval of DASZ 39/2013.

6.3 Property Information

Assessment: Part of Roll # 04005426500

Subject City Property:

The subject City property is part of a larger landholding owned by the City contained in Certificate of Title #1877138/1, which is legally described as:

All those portions of OTM Lots 86”A”, 87”A”, 88 “A”, 89 “A” and 90 “A”, Parish of Kildonan, which lie to the SE of a line drawn SE of Parallel with

and Perpendicular distant 85 feet from the southeastern limit of the land taken for the Right-of-way of the Canadian Northern Railway shewn on Plan 898 WLTO.

The title is subject to caveat #182465/1 by the Manitoba Hydro-Electric Board. The extent of the caveat is shown on Misc. Plan No. 14268/4 attached hereto as Schedule “B” and affects a **portion** of the subject City property.

Buildings/Improvements:

The subject City property is being sold “as is – where is”.

It will be the responsibility of the Proponent for demolition of the existing buildings/improvements.

6.4 Open House

An Open House will be held to view the buildings on the property on the following date:

October 10, 2013, between 11am and 12 noon.

7.0 INSTRUCTIONS TO PROPONENTS

7.1 Material and Information to be Supplied by Proponents

7.1.1 Background Information

- i) the names of all Principals associated with the proposal;
- ii) a list of the successful projects carried out by the Proponent, if any;
- iii) financial information about the Proponent;
- iv) any other information which the Proponent considers pertinent to the EOI.

7.1.2 Details of the Proposed Purchase and Site Development

The proposals must include the following:

- Corporate profile and a statement about experience with mixed use development, including transit oriented development projects,
- Offering price,
- Financial terms,

- Conditions, if any, related to the development of the subject City property (which offer shall exclude Lots 2 and 3, Block 1, on Misc. Plan No. 14268/10 attached),
- **A detailed plan outlining the proposed development, including:**
 - Number and type of residential dwelling units
 - GFA or GSF or retail, commercial, office uses,
 - Allocation of lands for other uses (eg. Hotels, recreation, etc.)
 - Number of parking spaces by location and type (eg. Underground, surface parking, accessible parking, bicycle parking, structured parking, visitor parking, etc.)
 - Dedicated lands for roads, including future Transcona Boulevard, and parks/open space,
 - Rapid transit station and corridor,
 - Pathways and connections to adjacent neighbourhoods and future development.
- An outline of the development phasing and timing,
- The anticipated economic and social benefits, both direct and indirect, to the community,
- A description of how the proposal will meet TOD objectives,
- A description of innovative approaches to environmental remediation or treatment of the site,
- A description of how the proposal addresses the City's environmental objectives and/or targets (eg. Greenhouse gas reduction, waste maximization, building technology, water conservation, energy management),
- and any other relevant terms or assumptions.
-

7.2 General Conditions of EOI

7.2.1 Sealed EOI's

Sealed EOI's marked 1500 Plessis Road EOI #987 – 2012, should be addressed and delivered to:

Materials Management
City of Winnipeg
Main Floor, 185 King Street
Winnipeg, Manitoba

Sealed EOI's will be received up to the deadline of:

4:00 pm, Winnipeg Time, on December 6, 2013:

EOI submissions determined by the Manager of Materials to have been received later than the EOI deadline may not be accepted and returned upon request.

The Contract Administrator or the Manager of Materials may extend the submission deadline by issuing an addendum at any time prior to the submission deadline.

EOI's submitted by facsimile transmission (fax) or internet electronic mail (e-mail) will not be accepted.

EOI's will not be opened publicly.

The City may at any time prior to the submission deadline, issue addenda correcting errors, discrepancies or omissions in the Invitation for Expressions of Interest, or clarifying the meaning or intent of any provisions therein.

Addenda will be available on the Bid Opportunity page at the City of Winnipeg, Corporate Finance, Materials Management Division internet site at <http://www.Winnipeg.ca/matmgt/bidopp.asp>

The Proponent is responsible for ensuring that it has received all addenda and is advised to check the Materials Management Branch internet site for addenda shortly before the submission deadline.

7.2.2 Proposals on all or Part of the Lands

The City will only consider proposals which intend and develop all of the Subject City Property.

7.2.3 Evaluation

The City shall evaluate each proposal on its own merit and price alone may not be the sole determining factor that the City considers in the evaluation of each and every proposal.

Critical factors within the evaluation process will include:

- Purchase price,
- Potential tax revenue,
- Demonstrated experience with mixed use development
- Corporate profile, knowledge of the industry and history of development experience in Winnipeg,
- Demonstrated financial and management capacity, and availability to implement the project,
- Demonstrated understanding of the project objectives and key issues,
- Project schedule and timing of implementation,
- Compatibility with surrounding uses,
- Overall development layout,
- Proposed building design and quality.

7.2.4 Right to Reject

The City reserves the right to reject all or any EOI.

7.2.5 Caveat Emptor

The City makes no representations or warranty with respect to the quality, condition or sufficiency of the Subject City Property.

No current legal survey was made of the Subject City Property to determine the nature and extent of any structure thereon or to determine if there are any encroachments from adjoining lands.

The Subject City Property will be sold on an “**as is, where is**” basis, subject to the conditions as outlined within this EOI.

7.2.6 Phase I – EOI Evaluation

The Proponents are advised to present their best offer, not a starting point for negotiations in their Proposal submission. The City will only negotiate with the Proponents submitting, in the City’s opinion, the most advantageous and thorough proposal.

The Planning, Property and Development Department will review all proposals on the basis of financial, operational and strategic merit to the City.

If, after this initial review, the Department deems the proposals to be unacceptable, the Proponents will be notified and no further discussions will be held.

Upon completion of the initial Phase I review, the Department will short list those submissions that are worthy of additional discussions and proceed to the Phase II evaluation process.

7.2.7 Phase II – Detailed Proposal Solicitation and Evaluation

The Department will notify all Proponents of their status within the short listed process, and will invite the short listed Proponents to submit additional or clarifying details, regarding their submission(s).

7.2.8 Phase III - Negotiations

The Department will enter into detailed negotiations with one or more short listed Proponents which it believes have the most merit. The proposal(s) will be finalized for submission to, and consideration by the Standing Policy Committee on Property and Development.

The Council of the City of Winnipeg has delegated the authority to the Standing Policy Committee on Property and Development for the approval of the disposition of Subject City Property.

Subject to the prior approval by the Standing Policy Committee on Property and Development of the Proponent's proposal, the Department will then draft a formal Offer to Purchase agreement for acceptance by the Purchaser embodying the City's standard terms and conditions of sale for City owned property together with any conditions imposed by the City solicitor to protect the interests of the City.

7.2.9 No Contract

The Expression of Interest is an inquiry only. By responding to this EOI and participating in the process as outlined in this document, Proponents expressly understand and agree that no contract of any sort is implied or formed under, or arises from this EOI and that no legal obligations between parties has, or will be, pre-determined. The City will have no obligation to enter into negotiations or a contract with any Proponent as a result of this Expression of Interest.

7.2.10 Confidentiality

Information provided to a Proponent by the City, or by a Proponent to the City, or acquired by any party by way of further enquiries or through investigation, **is strictly confidential**. Such information shall not be used or disclosed in any way without the prior written authorization of the City, or of the Proponent.

The Proponent, or the City, shall **not** make any statement of fact or opinion regarding any aspect of the EOI to the media or any member of the public without the prior written authorization of the Director of the Planning, Property and Development Department, or without the authorization of the Proponent.

Disclosure of a successful submission by a Proponent is the sole responsibility of the Council of the City of Winnipeg, or its Designated Authority. The City may be obligated to disclose the final purchase price after closing date of the sale of the Subject City property.

7.2.11 No Commissions Payable

There will be no real estate commission payable by the City.

7.2.12 Contact Persons

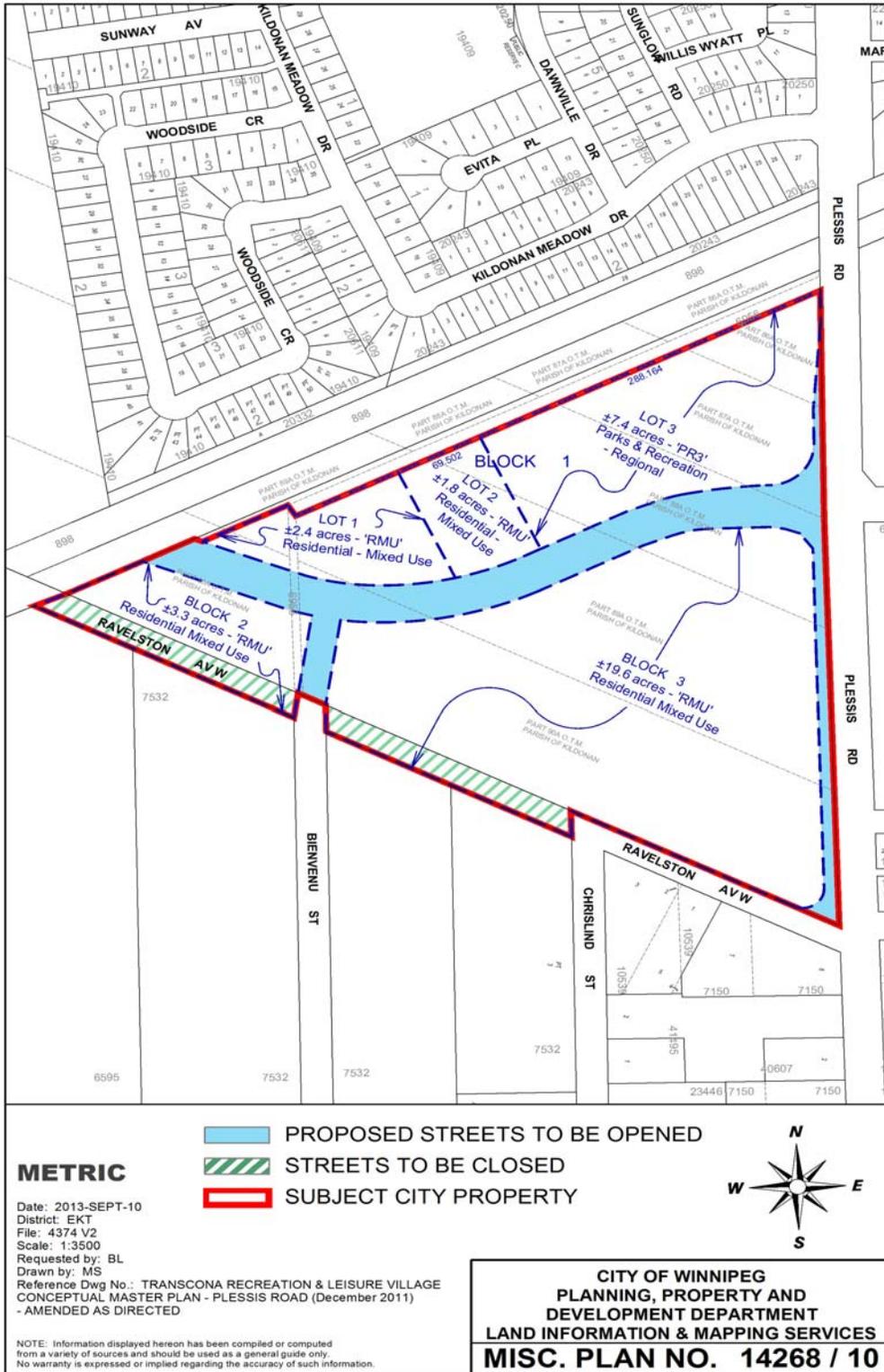
Joedi Pruden, Senior Negotiator
City of Winnipeg
Planning, Property and Development Department
2nd Floor, 65 Garry Street
Winnipeg, Manitoba

Phone (204) 986-7533 Fax: (204) 944-8476

List of Figures

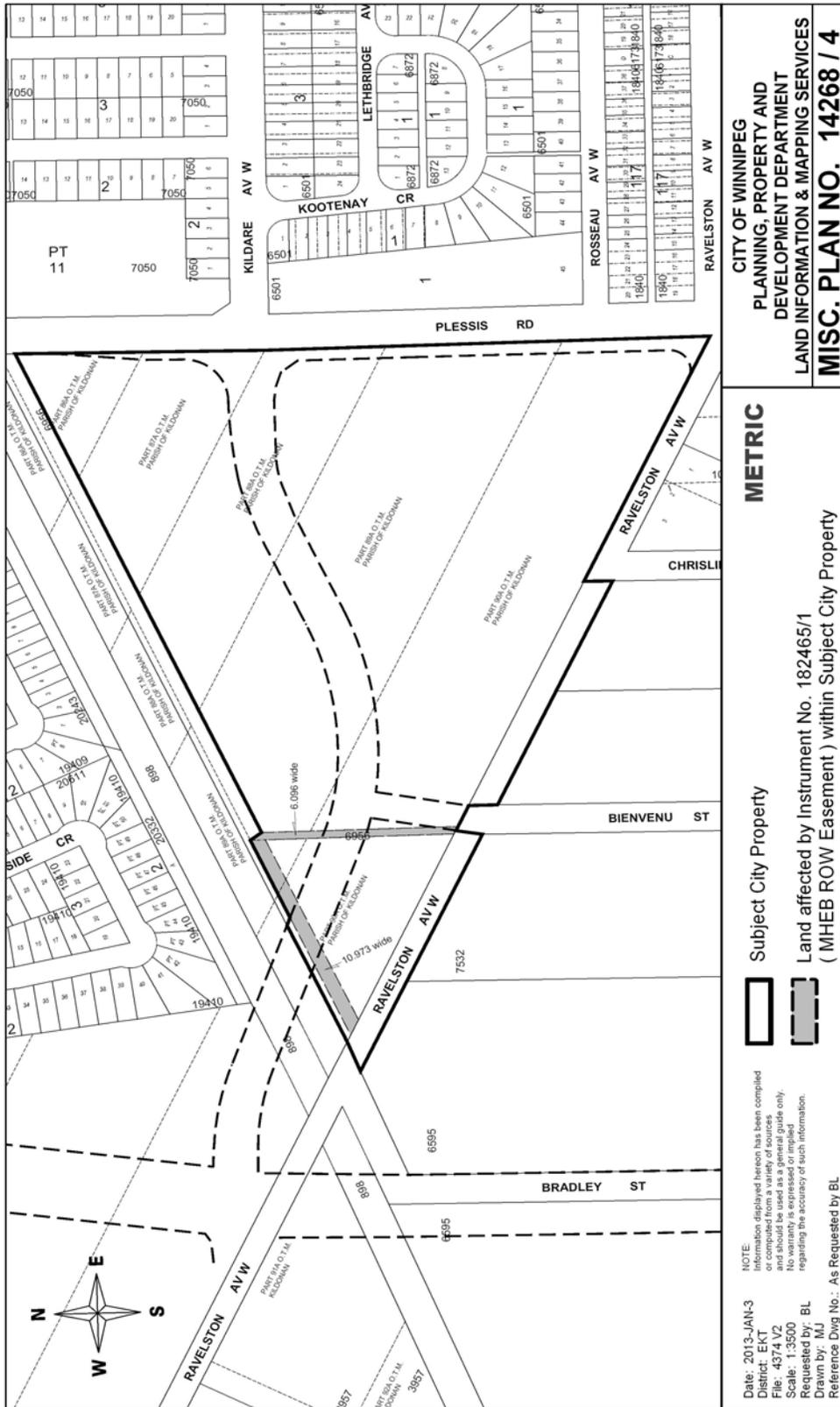
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|----------------|-------------------------|--|
| • Schedule “A” | Misc. Plan No. 14268/10 | Subject City Property |
| • Schedule “B” | Misc. Plan No. 14268/4 | Manitoba Hydro Electric Board Easement |
| • Schedule “C” | Asbestos Inventory List | |

Schedule 'A'

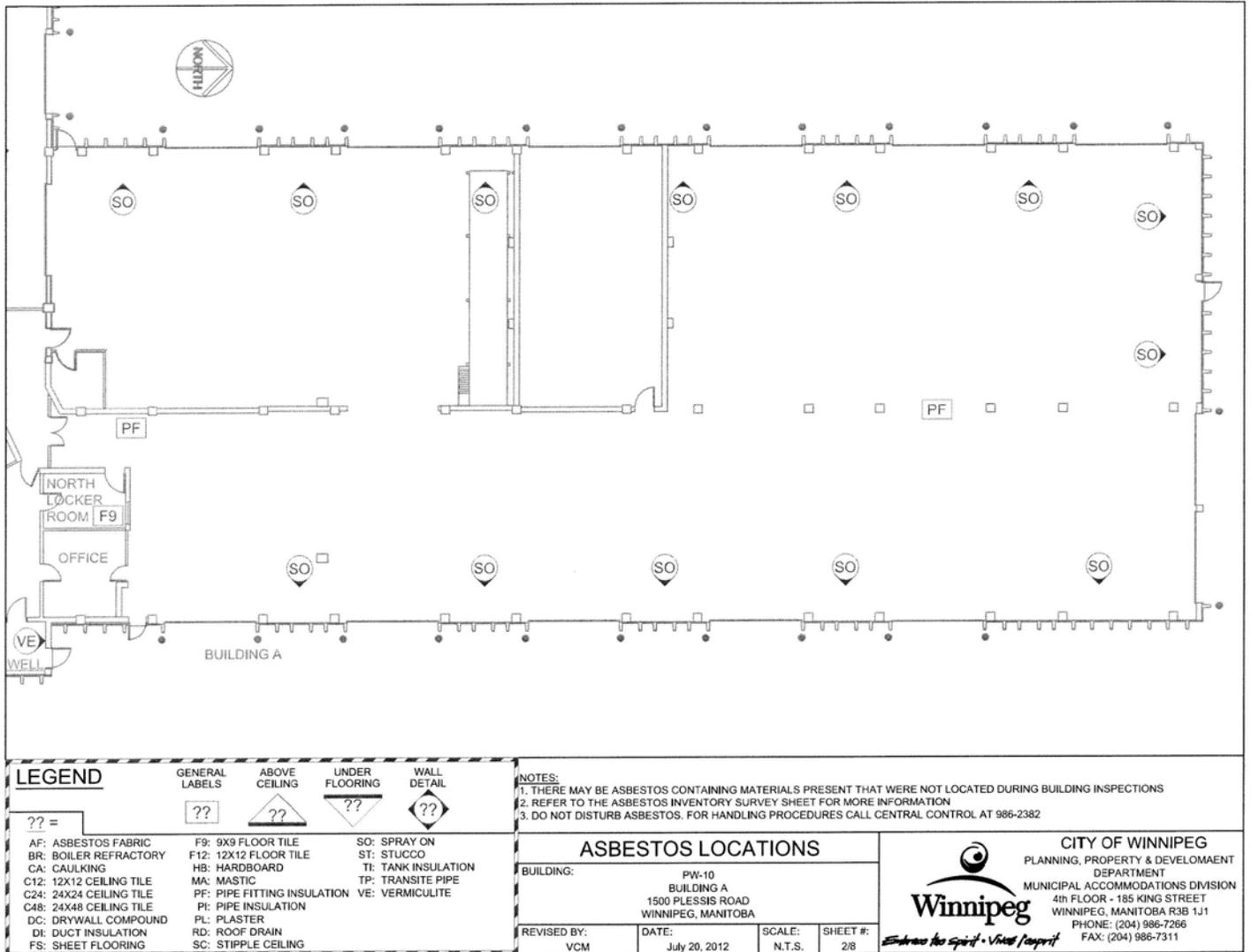


Invitation for Expressions of Interest
for City Owned Land Located at 1500 Plessis Road Winnipeg, Manitoba

Schedule "B"



Invitation for Expressions of Interest and Development Proposals
 for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba



Invitation for Expressions of Interest and Development Proposals
for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba

ASBESTOS INVENTORY CONTROL



Planning, Property and Development Department
Municipal Accommodations Division
4th Floor - 185 King Street • Winnipeg, MB • R3B 1J1

Building Name:	Building B	Inspection Date:	February 8, 2012
Building Code:	PW-10	Inspected By:	Rob Chennells & Nic DeMelo
Building Address:	1500 Plessis Road	Construction Date:	

Material Location	Material Description	Drawing Label	Material Condition	Testing Status	Date M/Y	Test %	Est. %
2nd Floor							
South Stairwell & Entrance & Top Landing	12x12 Floor Tile - Under Sheet flooring	F12	Good				
Reception Area	12x12 Floor Tile - Under Carpet	F12	Good				
Office's	12x12 Floor Tile - Under Carpet	F12	Good				
	24x48 Ceiling Tile	C48	Good	TESTED		0	
Office Washrooms	12x12 Floor Tile	F12	Removed	TESTED	Nov/09	2-5	
North East Training Room	12x12 Floor Tile - Under Carpet	F12	Good				
	24x48 Ceiling Tile	C48	Good	TESTED		0	
N E Storage Room	24x48 Ceiling Tile	C48	Good	TESTED		0	
North West Training Room	Sheet Flooring	FS	Good	TESTED	Oct/08	30-40	
	24x48 Ceiling Tile	C48	Good	TESTED		0	
Men's Washroom	Pipe Fitting Insulation	PF	Removed	TESTED	Nov/09	60-70	
Locker Room Hallway	9x9 Floor Tile	F9	Removed				
Locker Room	9x9 Floor Tile	F9	Good	TESTED	Jun/10	2	
Main Hallway	Sheet Flooring	FS	Good	TESTED	Apr/09	30-40	
	24x48 Ceiling Tile	C48	Removed	TESTED	Feb/09	2-5	
North East Stairwell -North Wall	Contains Vermiculite Insulation (Which May Contain Asbestos)	VE	Good				
Main Floor							
Open Area - Old Stores	Pipe Insulation	PI	Good				
	Pipe Fitting Insulation - Above Ceiling	PF	Good				
	24x48 Ceiling Tile	C48	Good	TESTED		0	
Main Hallway	Pipe Insulation	PI	Good				
	Pipe Fitting Insulation	PF	Good	TESTED		40-50	

Invitation for Expressions of Interest and Development Proposals
 for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba

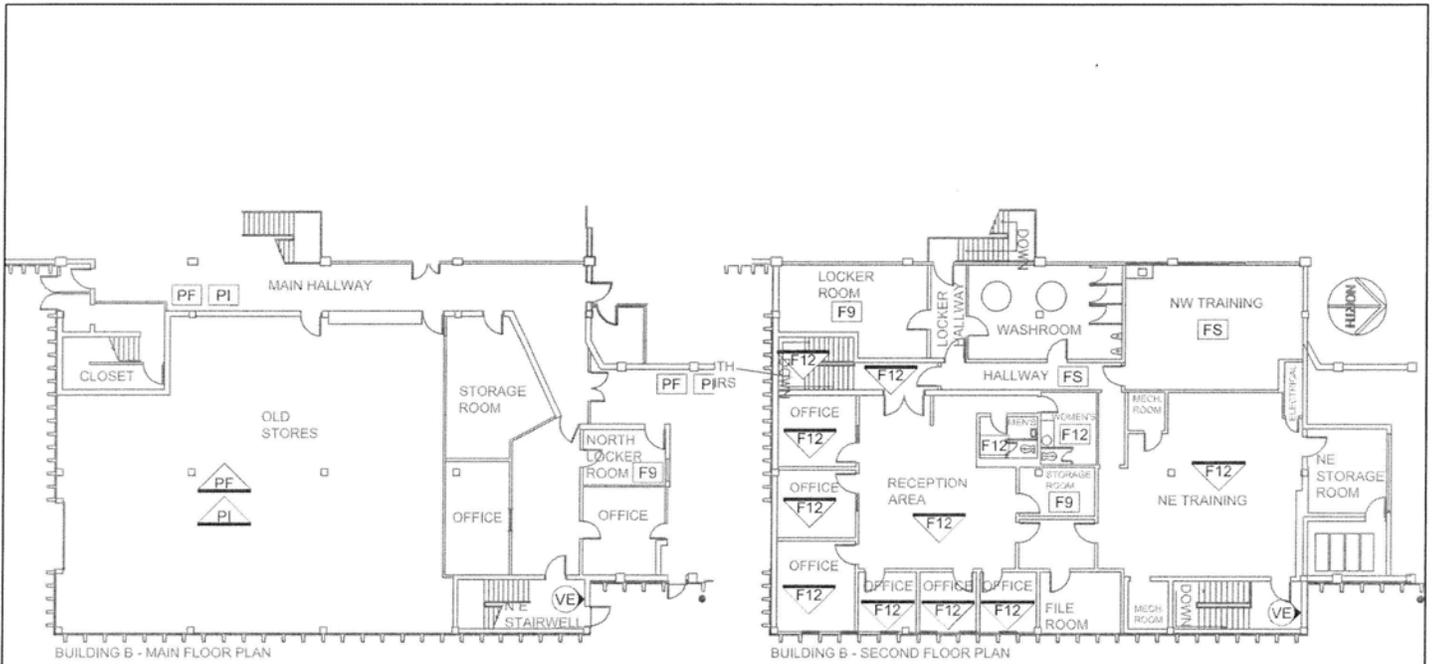
Material Location	Material Description	Drawing Label	Material Condition	Testing Status	Date M/Y	Test %	Est. %
North Locker Room	9x9 Floor Tile	F9	Good				
North East Stairwell -North Wall	Contains Vermiculite Insulation (Which May Contain Asbestos)	VE	Good				

NOTES:

1. Asbestos inspections and inventory updates are conducted annually.
2. There may be asbestos containing materials present that were not located during asbestos inspections.
3. Floor tile and sheet flooring installed before 1990 may contain asbestos and must be treated as an asbestos containing material.
4. Vermiculite insulation may contain pockets of asbestos. All vermiculite insulation must be treated as an asbestos containing material.
5. For asbestos related inquiries, call Central Control at 204-986-2382

PW-10

Invitation for Expressions of Interest and Development Proposals
 for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba



LEGEND		GENERAL LABELS	ABOVE CEILING	UNDER FLOORING	WALL DETAIL
?? =	??	??	??	??	??
AF: ASBESTOS FABRIC	F9: 9X9 FLOOR TILE	SO: SPRAY ON			
BR: BOILER REFRACTORY	F12: 12X12 FLOOR TILE	ST: STUCCO			
CA: CAULKING	HB: HARDBOARD	TI: TANK INSULATION			
C12: 12X12 CEILING TILE	MA: MASTIC	TP: TRANSITE PIPE			
C24: 24X24 CEILING TILE	PF: PIPE FITTING INSULATION	VE: VERMICULITE			
C48: 24X48 CEILING TILE	PI: PIPE INSULATION				
DC: DRYWALL COMPOUND	PL: PLASTER				
DI: DUCT INSULATION	RD: ROOF DRAIN				
FS: SHEET FLOORING	SC: STIPPLE CEILING				

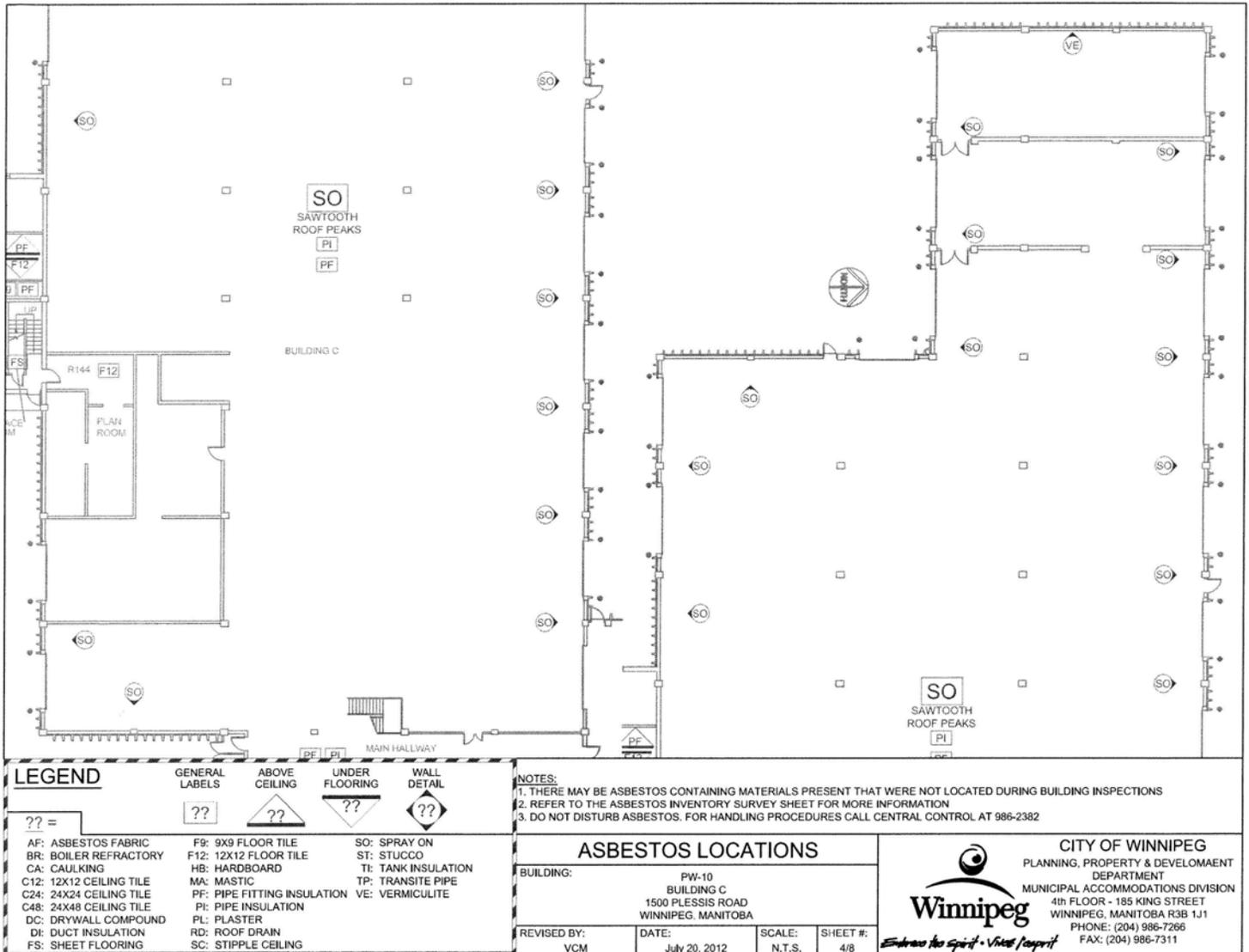
ASBESTOS LOCATIONS			
BUILDING:	PW-10 BUILDING B 1500 PLESSIS ROAD WINNIPEG, MANITOBA		
REVISED BY:	DATE:	SCALE:	SHEET #:
L.S.T.	APRIL 19, 2011	N.T.S.	3/8

CITY OF WINNIPEG	
PLANNING, PROPERTY & DEVELOPMENT DEPARTMENT	
MUNICIPAL ACCOMMODATIONS DIVISION	
4th FLOOR - 185 KING STREET	
WINNIPEG, MANITOBA R3B 1J1	
PHONE: (204) 986-7266	FAX: (204) 986-7311

NOTES:
 1. THERE MAY BE ASBESTOS CONTAINING MATERIALS PRESENT THAT WERE NOT LOCATED DURING BUILDING INSPECTIONS
 2. REFER TO THE ASBESTOS INVENTORY SURVEY SHEET FOR MORE INFORMATION
 3. DO NOT DISTURB ASBESTOS. FOR HANDLING PROCEDURES CALL CENTRAL CONTROL AT 986-2382



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ASBESTOS INVENTORY CONTROL



Planning, Property and Development Department
Municipal Accommodations Division
4th Floor - 185 King Street • Winnipeg, MB • R3B 1J1

Building Name:	Building D	Inspection Date:	January 13, 2012
Building Code:	PW-10	Inspected By:	Vic Mendoza & Karl Bauch
Building Address:	1500 Plessis Road	Construction Date:	

Material Location	Material Description	Drawing Label	Material Condition	Testing Status	Date M/Y	Test %	Est. %
Reception Area Between D & E	Pipe Fitting Insulation - Above Ceiling	PF	Good				
	Plaster - Walls	PL	Good	TESTED	Mar/'11	0	
	Stucco - Ceiling	ST	Good	TESTED	Mar/'10	0	
	12x12 Ceiling Tile	C12	Good	TESTED	Mar/'10	0	
Main Floor							
Room 134	9x9 Floor Tile - Under Carpet	F9	Good				
Room 133	9x9 Floor Tile - Under Carpet	F9	Good				
Hallway	Sheet Flooring	FS	Good	TESTED	Jun/'10	20-30	
Men's Washroom	Sheet Flooring	FS	Good	TESTED	Jun/'10	20-30	
Furnace Room under Stairwell	Sheet Flooring	FS	Good	TESTED	Jun/'10	20-30	
Room 144	12x12 Floor Tile	F12	Good				
MTS Room	Pipe Fitting Insulation	PF	Good				
	9x9 Floor Tile	F9	Needs Repair				
Print Room - Room 129	12x12 Floor Tile - Under Carpet	F12	Good				
	Pipe Fitting Insulation	PF	Good				
Open Cubicle Area	Pipe Fitting Insulation - Above Ceiling	PF	Good				
	Pipe Insulation	PI	Good				
Room 123	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Second Floor							
	Spray On Insulation was tested, no indication of sampled area		Good	TESTED	Jun/'01	40-80	
Stairwell Area	9x9 Floor Tile	F9	Good				
	Spray On Insulation - on ceiling	SO	Good				
Hallway	Spray On Insulation - on ceiling	SO	Good				

Invitation for Expressions of Interest and Development Proposals
 for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba

Material Location	Material Description	Drawing Label	Material Condition	Testing Status	Date M/Y	Test %	Est. %
Room 232	Spray On Insulation - on ceiling	SO	Good				
	9x9 Floor Tile	F9	Good				
Room 231	Spray On Insulation - on ceiling	SO	Good				
	9x9 Floor Tile	F9	Good				
Room 230	Spray On Insulation - on ceiling	SO	Good				
Room 229	Spray On Insulation - on ceiling	SO	Good				
North Hallway	9x9 Floor Tile	F9	Good				
	Spray On Insulation - on ceiling	SO	Good				
Washrooms	9x9 Floor Tile	F9	Good				
Vault	9x9 Floor Tile	F9	Good				
Room 228	Sheet Flooring	FS	Good				
Furnace Room	Pipe Fitting Insulation	PF	Good				
Room 227	Spray On Insulation - on ceiling	SO	Good				
Room 226	Spray On Insulation - on ceiling	SO	Good				
	9x9 Floor Tile - Under Carpet	F9	Good				
Room 225	Spray On Insulation - on ceiling	SO	Good				
	9x9 Floor Tile - Under Carpet	F9	Good				
Room 224	Spray On Insulation - on ceiling	SO	Good				
	9x9 Floor Tile - Under Carpet	F9	Good				
Room 223	Plaster - Walls	PL		TESTED		0	

NOTES:

1. Asbestos inspections and inventory updates are conducted annually.
2. There may be asbestos containing materials present that were not located during asbestos inspections.
3. Floor tile and sheet flooring installed before 1990 may contain asbestos and must be treated as an asbestos containing material.
4. Vermiculite insulation may contain pockets of asbestos. All vermiculite insulation must be treated as an asbestos containing material.
5. For asbestos related inquiries, call Central Control at 204-986-2382

PW-10

Invitation for Expressions of Interest and Development Proposals
 for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba



LEGEND				NOTES: 1. THERE MAY BE ASBESTOS CONTAINING MATERIALS PRESENT THAT WERE NOT LOCATED DURING BUILDING INSPECTIONS 2. REFER TO THE ASBESTOS INVENTORY SURVEY SHEET FOR MORE INFORMATION 3. DO NOT DISTURB ASBESTOS. FOR HANDLING PROCEDURES CALL CENTRAL CONTROL AT 986-2382																
GENERAL LABELS	ABOVE CEILING	UNDER FLOORING	WALL DETAIL																	
?? =	??	??	??	<table border="1"> <thead> <tr> <th colspan="4">ASBESTOS LOCATIONS</th> </tr> <tr> <td>BUILDING:</td> <td colspan="3">PW-10 BUILDING D 1500 PLESSIS ROAD WINNIPEG, MANITOBA</td> </tr> <tr> <td>REVISED BY:</td> <td>DATE:</td> <td>SCALE:</td> <td>SHEET #:</td> </tr> <tr> <td>L.S.T.</td> <td>APRIL 19, 2011</td> <td>N.T.S.</td> <td>5/8</td> </tr> </thead></table>	ASBESTOS LOCATIONS				BUILDING:	PW-10 BUILDING D 1500 PLESSIS ROAD WINNIPEG, MANITOBA			REVISED BY:	DATE:	SCALE:	SHEET #:	L.S.T.	APRIL 19, 2011	N.T.S.	5/8
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REVISED BY:	DATE:	SCALE:	SHEET #:																	
L.S.T.	APRIL 19, 2011	N.T.S.	5/8																	
AF: ASBESTOS FABRIC BR: BOILER REFRACTORY CA: CAULKING C12: 12X12 CEILING TILE C24: 24X24 CEILING TILE DC: DRYWALL COMPOUND DI: DUCT INSULATION FS: SHEET FLOORING	F9: 9X9 FLOOR TILE F12: 12X12 FLOOR TILE HB: HARDBOARD MA: MASTIC PF: PIPE FITTING INSULATION PI: PIPE INSULATION PL: PLASTER RD: ROOF DRAIN SC: STIPPLE CEILING	SO: SPRAY ON ST: STUCCO TI: TANK INSULATION TP: TRANSITE PIPE VE: VERMICULITE	?? = ?? ?? ??																	

CITY OF WINNIPEG
 PLANNING, PROPERTY & DEVELOPMENT DEPARTMENT
 MUNICIPAL ACCOMMODATIONS DIVISION
 4th FLOOR - 185 KING STREET
 WINNIPEG, MANITOBA R3B 1J1
 PHONE: (204) 986-7266
 FAX: (204) 986-7311

Invitation for Expressions of Interest and Development Proposals
for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba

ASBESTOS INVENTORY CONTROL



Planning, Property and Development Department
Municipal Accommodations Division
4th Floor - 185 King Street • Winnipeg, MB • R3B 1J1

Building Name:	Building E	Inspection Date:	January 13, 2012
Building Code:	PW-10	Inspected By:	Vic Mendoza & Karl Bauch
Building Address:	1500 Plessis Road	Construction Date:	

Material Location	Material Description	Drawing Label	Material Condition	Testing Status	Date M/Y	Test %	Est. %
Main Floor							
Room 118 behind receptionist	12x12 Floor Tile - Under Carpet	F12	Good				
	Pipe Fitting Insulation	PF	Good				
Back Hallway	12x12 Floor Tile	F12	Good				
	Plaster - Walls	PL	Good	TESTED	Mar/11	0	
Room 113 - Technicians Area	Pipe Fitting Insulation - Above Ceiling	PF	Good				
	12x12 Floor Tile	F12	Good				
Room 117	Pipe Fitting Insulation - Above Ceiling	PF	Good				
	12x12 Floor Tile	F12	Good				
Room 116 - Network Server	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Women's Washroom	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Men's Washroom	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Room 112	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Room 111	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Room 110	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Hallway and Stairwell	12x12 Floor Tile	F12	Good				
Room 109	Pipe Fitting Insulation - Above Ceiling	PF	Good				
	12x12 Floor Tile	F12	Good				
Kitchen	Pipe Fitting Insulation - Above Ceiling	PF	Good				
	12x12 Floor Tile	F12	Good				
	Sheet Flooring	FS	Good				
Kitchen's Storage Area	Sheet Flooring	FS	Good				
Room 108 - Reception	12x12 Floor Tile - Under Carpet	F12	Good				
Room 108 - Washrooms	12x12 Floor Tile	F12	Good				
Room 104	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Room 107	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Room 106	Pipe Fitting Insulation - Above Ceiling	PF	Good				

Invitation for Expressions of Interest and Development Proposals
for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba

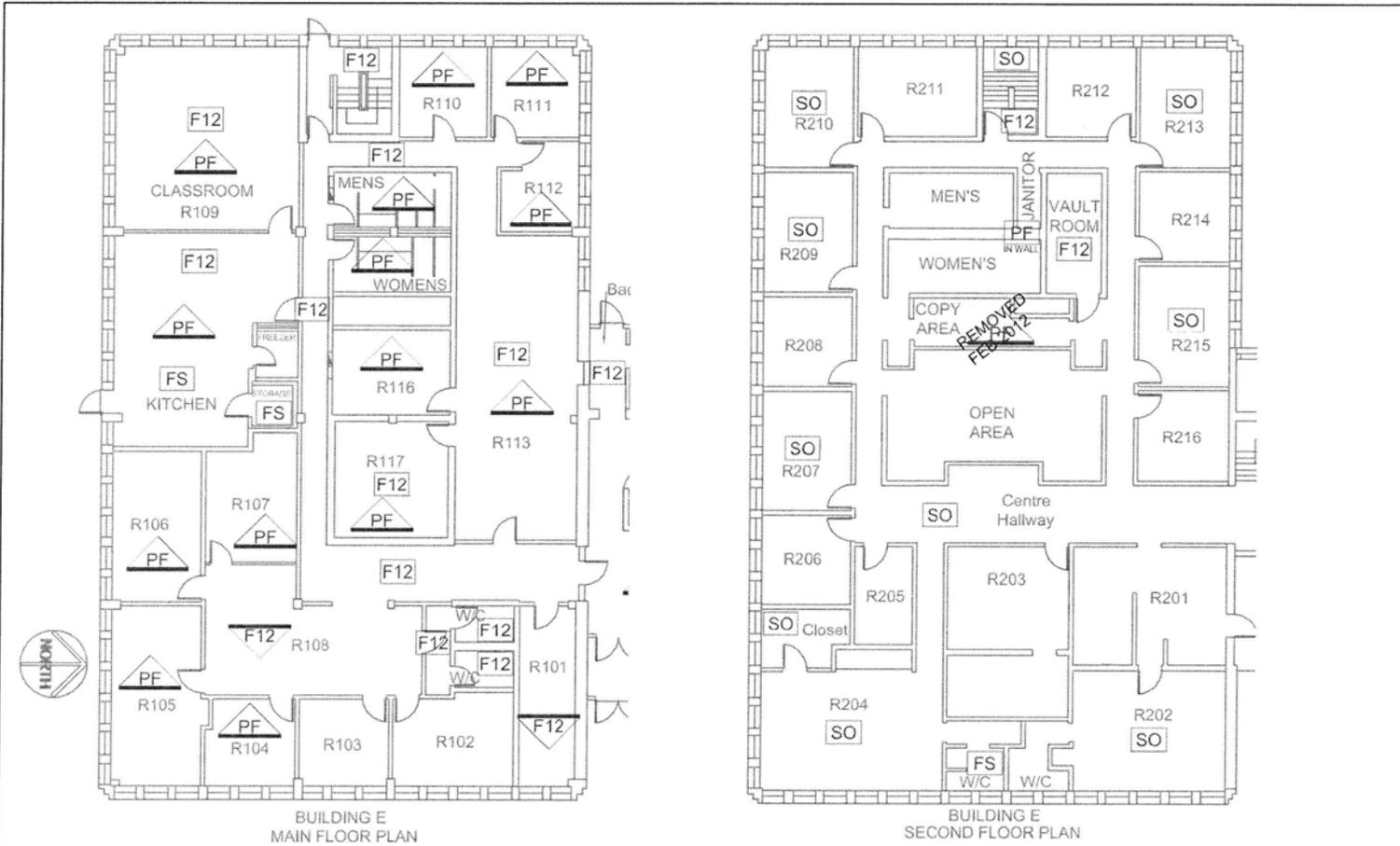
Material Location	Material Description	Drawing Label	Material Condition	Testing Status	Date M/Y	Test %	Est. %
Room 105	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Room 101	12x12 Floor Tile - Under Carpet	F12	Good				
	Spray On Insulation was tested, no indication of sampled area		Good	TESTED	Jun/'01	40-80	
Second Floor							
Room 202	Spray On Insulation - on ceiling	SO	Good				
Room 204	Spray On Insulation - on ceiling	SO	Good				
Room 204 Washroom	Sheet Flooring	FS	Good				
Room 204 Closet	Spray On Insulation - on ceiling	SO	Good				
Hallway - Center	Spray On Insulation - on ceiling	SO	Good				
Room 207	Spray On Insulation - on ceiling	SO	Good				
Copy area	Pipe Fitting Insulation - Above Ceiling	PF	Removed		Feb/'12		
Room 209	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Room 210	Pipe Fitting Insulation - Above Ceiling	PF	Good				
West Stairwell	Pipe Fitting Insulation - Above Ceiling	PF	Good				
	12x12 Floor Tile	F12	Good				
Room 213	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Vault Room	12x12 Floor Tile	F12	Good				
Room 215	Pipe Fitting Insulation - Above Ceiling	PF	Good				
Room 203	Plaster - Walls	PL	Good	TESTED	Mar/'10	0	
Basement							
Mechanical Room	Pipe Fitting Insulation	PF	Good				
Heater Coil Lines	Pipe Fitting Insulation	PF	Good				
Circulation Pump Lines	Pipe Fitting Insulation	PF	Good				
Storage Room	Pipe Fitting Insulation	PF	Good				
Stairwell	12x12 Floor Tile	F12	Good				

NOTES:

1. Asbestos inspections and inventory updates are conducted annually.
2. There may be asbestos containing materials present that were not located during asbestos inspections.
3. Floor tile and sheet flooring installed before 1990 may contain asbestos and must be treated as an asbestos containing material.
4. Vermiculite insulation may contain pockets of asbestos. All vermiculite insulation must be treated as an asbestos containing material.
5. For asbestos related inquiries, call Central Control at 204-986-2382

PW-10

Invitation for Expressions of Interest and Development Proposals
 for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba



LEGEND			
GENERAL LABELS	ABOVE CEILING	UNDER FLOORING	WALL DETAIL
?? =	??	??	??
AF: ASBESTOS FABRIC	F9: 9X9 FLOOR TILE	SO: SPRAY ON	
BR: BOILER REFRACTORY	F12: 12X12 FLOOR TILE	ST: STUCCO	
CA: CAULKING	HB: HARDBOARD	TI: TANK INSULATION	
C12: 12X12 CEILING TILE	MA: MASTIC	TP: TRANSITE PIPE	
C24: 24X24 CEILING TILE	PF: PIPE FITTING INSULATION	VE: VERMICULITE	
C48: 24X48 CEILING TILE	PI: PIPE INSULATION		
DC: DRYWALL COMPOUND	PL: PLASTER		
DI: DUCT INSULATION	RD: ROOF DRAIN		
FS: SHEET FLOORING	SC: STIPPLE CEILING		

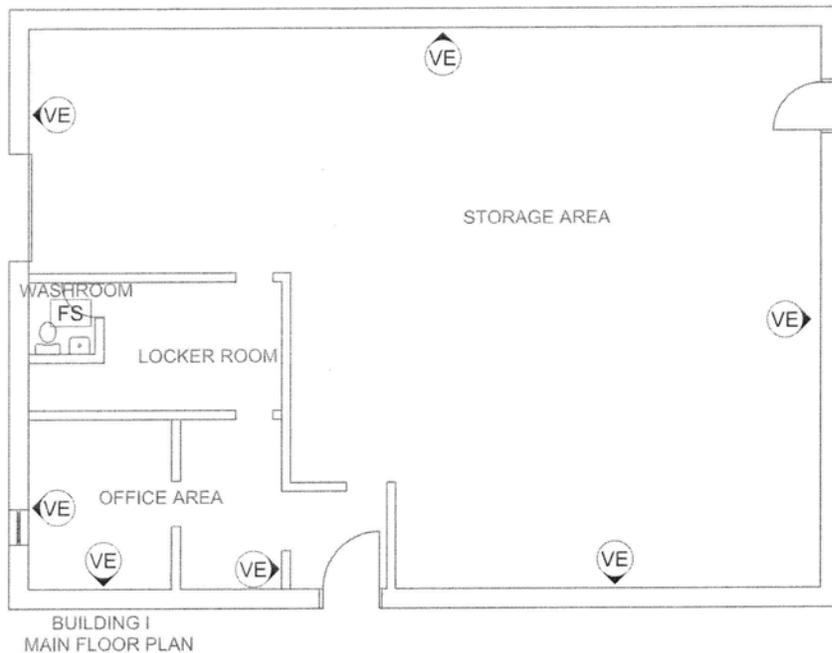
NOTES:

1. THERE MAY BE ASBESTOS CONTAINING MATERIALS PRESENT THAT WERE NOT LOCATED DURING BUILDING INSPECTIONS
2. REFER TO THE ASBESTOS INVENTORY SURVEY SHEET FOR MORE INFORMATION
3. DO NOT DISTURB ASBESTOS. FOR HANDLING PROCEDURES CALL CENTRAL CONTROL AT 986-2382

ASBESTOS LOCATIONS			
BUILDING: PW-10		BUILDING E	
1500 PLESSIS ROAD WINNIPEG, MANITOBA			
REVISED BY: L.S.T.	DATE: APRIL 19, 2011	SCALE: N.T.S.	SHEET #: 6/8

CITY OF WINNIPEG
 PLANNING, PROPERTY & DEVELOPMENT DEPARTMENT
 MUNICIPAL ACCOMMODATIONS DIVISION
 4th FLOOR - 185 KING STREET
 WINNIPEG, MANITOBA R3B 1J1
 PHONE: (204) 986-7266
 FAX: (204) 986-7311

Invitation for Expressions of Interest and Development Proposals
 for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba



LEGEND		GENERAL LABELS	ABOVE CEILING	UNDER FLOORING	WALL DETAIL
?? =		??	??	??	??
AF: ASBESTOS FABRIC	F9: 9X9 FLOOR TILE	SO: SPRAY ON			
BR: BOILER REFRACTORY	F12: 12X12 FLOOR TILE	ST: STUCCO			
CA: CAULKING	HB: HARDBOARD	TI: TANK INSULATION			
C12: 12X12 CEILING TILE	MA: MASTIC	TP: TRANSITE PIPE			
C24: 24X24 CEILING TILE	PF: PIPE FITTING INSULATION	VE: VERMICULITE			
C48: 24X48 CEILING TILE	PI: PIPE INSULATION				
DC: DRYWALL COMPOUND	PL: PLASTER				
DI: DUCT INSULATION	RD: ROOF DRAIN				
FS: SHEET FLOORING	SC: STIPPLE CEILING				

ASBESTOS LOCATIONS			
BUILDING:	PW-10 BUILDING I 1500 PLESSIS ROAD WINNIPEG, MANITOBA		
REVISED BY:	DATE:	SCALE:	SHEET #:
RSFC	FEBRUARY 15, 2012	N.T.S.	8/8

<p>NOTES:</p> <p>1. THERE MAY BE ASBESTOS CONTAINING MATERIALS PRESENT THAT WERE NOT LOCATED DURING BUILDING INSPECTIONS</p> <p>2. REFER TO THE ASBESTOS INVENTORY SURVEY SHEET FOR MORE INFORMATION</p> <p>3. DO NOT DISTURB ASBESTOS. FOR HANDLING PROCEDURES CALL CENTRAL CONTROL AT 986-2382</p>	<p>CITY OF WINNIPEG PLANNING, PROPERTY & DEVELOPMENT DEPARTMENT MUNICIPAL ACCOMMODATIONS DIVISION 4th FLOOR - 185 KING STREET WINNIPEG, MANITOBA R3B 1J1 PHONE: (204) 986-7266 FAX: (204) 986-7311</p> <p><i>Embrace the Spirit - Vivez l'esprit</i></p>
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Invitation for Expressions of Interest and Development Proposals
for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba

ASBESTOS INVENTORY CONTROL



Planning, Property and Development Department
Municipal Accommodations Division
4th Floor - 185 King Street • Winnipeg, MB • R3B 1J1

Building Name:	Public Work Complex	Inspection Date:	December 5, 2011
Building Code:	PW-12	Inspected By:	Vic Mendoza & Karl Bauch
Building Address:	849 Ravelston Avenue	Construction Date:	

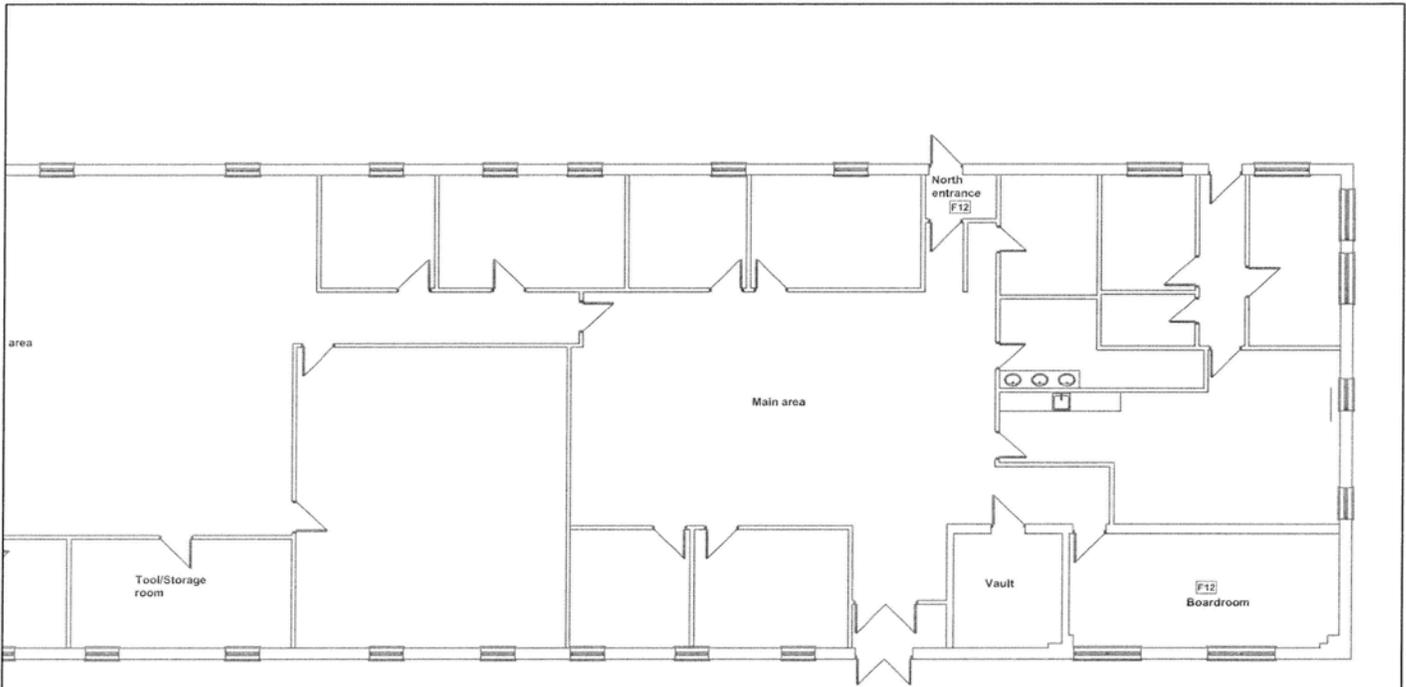
Material Location	Material Description	Drawing Label	Material Condition	Testing Status	Date M/Y	Test %	Est. %
Streets Maintenance (West Entrance)							
Front Entrance/Waiting Area	Sheet Flooring	FS	Good	TESTED	Dec/'11	0	
Men's Washroom	Sheet Flooring	FS	Good	TESTED	Dec/'11	0	
Crawlspace (Hatch in Janitors Room)	No asbestos containing materials located						
Lunch Room	Sheet Flooring	FS	Good	TESTED	Dec/'11	0	
	12x12 Floor Tile	F12	Removed Jan 12	TESTED	Dec/'11	2	
Tool/Storage Room	12x12 Floor Tile	F12	Good	TESTED	Dec/'11	0	
	Sheet Flooring	FS	Good				
East Entrance							
Main Area	12x12 Ceiling Tile	C12		TESTED	Dec/'11	0	
Board Room	12x12 Floor Tile under 24x24 tiles	F12	Good	TESTED	Dec/'11	3	
North Entrance Vestibule	12x12 Floor Tile under sheet flooring	F12	Good	TESTED	Dec/'11	3	
Block walls	Randomly Inspected & Appear To Be Empty (Do Not Contain Vermiculite Insulation)						
Far East Entrance							
	No keys - not inspected yet						

NOTES:

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3. Floor tile and sheet flooring installed before 1990 may contain asbestos and must be treated as an asbestos containing material.
4. Vermiculite insulation may contain pockets of asbestos. All vermiculite insulation must be treated as an asbestos containing material.
5. For asbestos related inquiries, call Central Control at 204-986-2382

PW-12

Invitation for Expressions of Interest and Development Proposals
 for City Owned Land at 1500 Plessis Road/849 Ravelston Avenue West, Winnipeg, Manitoba



 **Main Floor**

LEGEND		GENERAL LABELS	ABOVE CEILING	UNDER FLOORING	WALL DETAIL
?? =	??	??	??	??	??
AF: ASBESTOS FABRIC	F9: 9X9 FLOOR TILE	SO: SPRAY ON			
BR: BOILER REFRACTORY	F12: 12X12 FLOOR TILE	ST: STUCCO			
CA: CAULKING	HB: HARDBOARD	TI: TANK INSULATION			
C12: 12X12 CEILING TILE	MA: MASTIC	TP: TRANSITE PIPE			
C24: 24X24 CEILING TILE	PF: PIPE FITTING INSULATION	VE: VERMICULITE			
C48: 24X48 CEILING TILE	PI: PIPE INSULATION				
DC: DRYWALL COMPOUND	PL: PLASTER				
DI: DUCT INSULATION	RD: ROOF DRAIN				
FS: SHEET FLOORING	SC: STIPPLE CEILING				

NOTES:			
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ASBESTOS LOCATIONS			
BUILDING:		PW-12	
		Public Works Building	
		849 Ravelston Ave	
		Winnipeg, Manitoba	
REVISED BY:	DATE:	SCALE:	SHEET #:
RSFC	December 15, 2011	N.T.S.	2/2

	
CITY OF WINNIPEG	
PLANNING, PROPERTY & DEVELOPMENT DEPARTMENT	
MUNICIPAL ACCOMMODATIONS DIVISION	
4th FLOOR - 185 KING STREET	
WINNIPEG, MANITOBA R3B 1J1	
PHONE: (204) 986-7266	
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