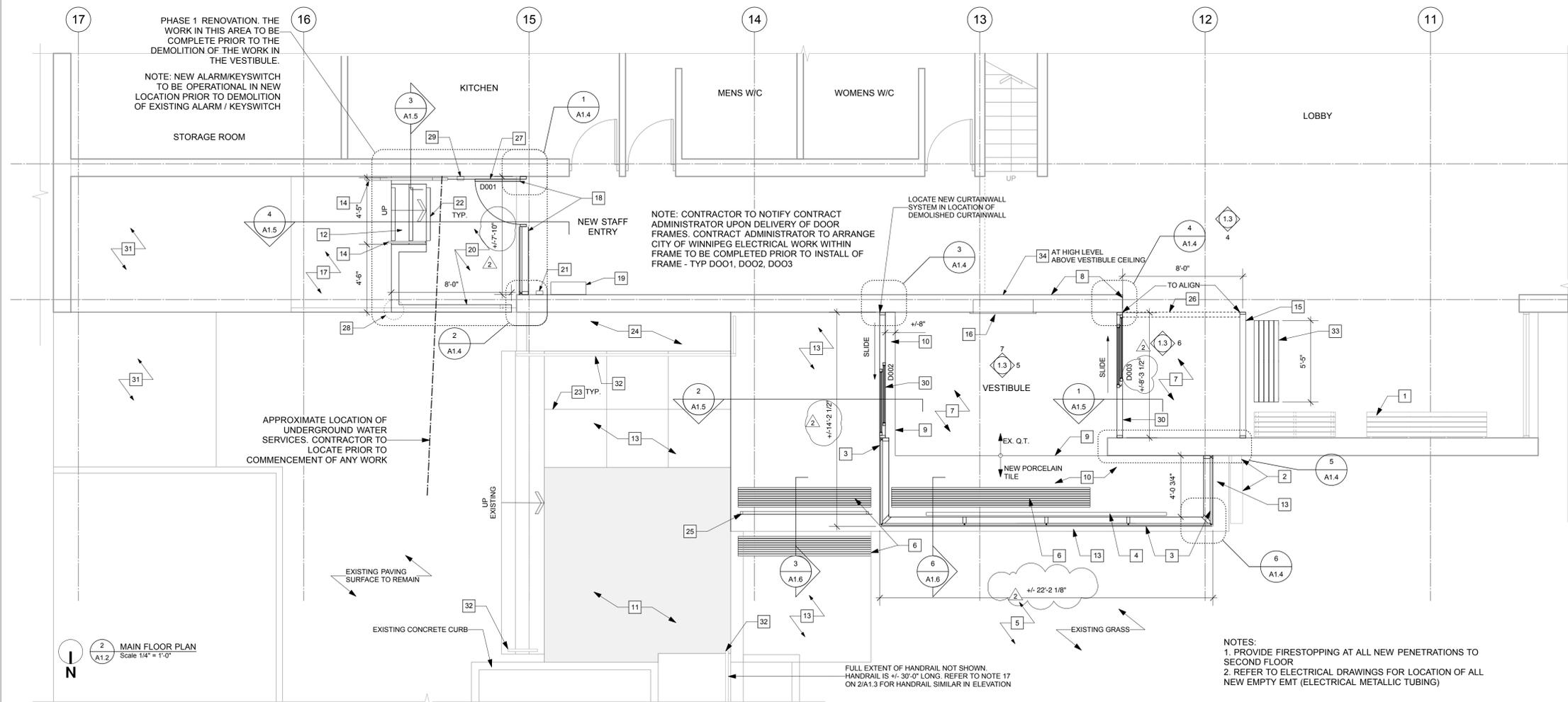


- KEYNOTES-DEMOLITION PLAN**
- EXISTING MASONRY WALL, ALUM FRAME AND WALL ASSEMBLY C/W GLAZING TO BE DEMOLISHED. PATCH MASONRY AND MAKE READY FOR NEW CURTAINWALL SYSTEM
  - EXISTING CONCRETE TO REMAIN
  - EXISTING STEEL HANDRAIL TO BE REMAIN. PREPARE FOR NEW PAINT
  - EXISTING DOOR OPERATOR AND ASSOCIATED WIRING TO BE DEMOLISHED. PATCH MASONRY AND MAKE GOOD. REFER TO ELECT.
  - EXISTING PAVERS TO BE REMOVED. AREA MADE READY FOR NEW CONCRETE. SHOWN IN GREY
  - EXISTING STEEL AND ALUMINUM FRAME AND DOORS TO BE DEMOLISHED IN THEIR ENTIRETY. PATCH BRICK AND QUARRY TILE FLOORING AND MAKE GOOD
  - EXISTING QUARRY TILE FLOORING TO REMAIN
  - EXISTING MASONRY WALL TO REMAIN - PATCH AND REPAIR MASONRY AS REQUIRED
  - DEMOLISH EXISTING METAL CEILING AND SOFFIT C/W LIGHTING. PREPARE ELECTRICAL FOR NEW LIGHTING
  - EXISTING EXIT SIGN TO REMAIN
  - DEMOLISH EXISTING QUARRY TILE IN LOCATION ADJACENT TO EXISTING THRESHOLD. PREPARE FLOOR FOR NEW TILE.
  - EXISTING STAIRS TO REMAIN
  - EXISTING RAMP TO REMAIN
  - EXISTING WOOD BENCH



- KEYNOTES: MAIN FLOOR PLAN**
- EXISTING BENCH TO REMAIN
  - EXISTING RWL AND CONCRETE SPLASHPAD TO REMAIN
  - NEW CURTAINWALL FRAME AND GLAZING - REFER TO SPEC. AND ELEVATIONS
  - NEW FLOOR MOUNTED PERIMETER HEATING CABINET - REFER TO ELECT.
  - REGRADE AND SOD ANY EXISTING GRASS DAMAGED DURING CONSTRUCTION UPON COMPLETION OF WORK
  - NEW WOOD BENCH C/W STAINLESS STEEL FRAME. REFER TO DETAILS ON A1.6
  - EXISTING QUARRY TILE FLOORING TO REMAIN
  - EXISTING MASONRY WALL TO REMAIN
  - EXTENT OF EXISTING QUARRY TILE
  - NEW PORCELAIN TILE - REFER TO SPEC. CONTRACTOR TO PREPARE EXISTING CONC. FLOOR SLAB BELOW FOR NEW TILE
  - NEW CONCRETE PAD SHOWN IN GREY. REFER TO STRUCT. CONTRACTOR TO DETERMINE GRADING SLOPE OF EXISTING PAVERS PRIOR TO DEMOLITION AND PROVIDE SIMILAR SLOPE FOR CONCRETE
  - NEW C.I.P. CONCRETE STAIRS - REFER TO STRUCT. AND DETAILS
  - EXISTING CONCRETE TO REMAIN
  - NEW SEAMLESS STAINLESS STEEL HANDRAIL. REFER TO ELEVATIONS AND DETAILS ON A1.3 AND A1.5 AND SPECIFICATIONS
  - NEW ALUMINUM FRAME WALL C/W TEMPERED GLAZING - REFER TO SPEC. AND INTERIOR ELEVATIONS
  - NEW RECESSED ELECTRONIC FORCE FLOW HEATER IN LOCATION OF EXISTING - REFER TO ELECT.
  - CONTRACTOR TO REMOVE AND REINSTALL PAVERS C/W COMPACTED SUB-SURFACE. SUB-SURFACE AS PER PAVING STONE INSTALLATION RECOMMENDATIONS
  - NEW DOOR AND SIDELIGHT - REFER TO SPEC.
  - NEW SURFACE MOUNTED ELECTRONIC FORCE FLOW HEATER - REFER TO ELECT.
  - NEW C.I.P. CONCRETE LANDING C/W C.I.P. CONCRETE GARDRAIL - REFER TO DETAILS ON A1.4 AND A1.5 AND STRUCTURAL
  - RELOCATED ALARM SYSTEM AND KEYSWITCH - REFER TO ELECT. SEE GENERAL NOTE
  - SLIP RESISTANT NOSING (TYP. ON ALL TREADS) - REFER TO DETAILS.
  - EXISTING SAW CUTS
  - EXISTING CONC. PAVERS TO REMAIN
  - NEW PAINTED GALV. METAL SCREEN - REFER TO DETAILS ON A1.6 AND STRUCT.
  - NEW ALUMINUM SUPPORT (ABOVE) FOR WALL TO BE SUPPLIED BY CURTAIN WALL SUPPLIER. REFER TO INT. ELEVATION 4/4.1.3
  - NEW GALV. STEEL ANGLE C/W STAINLESS STEEL STRIP - REFER TO DETAIL 3/A1.5
  - LOCATION OF NEW CONCRETE PILE - REFER TO STRUCT. CO-ORDINATE LOCATION WITH EXISTING UNDERGROUND SERVICES
  - NEW CARDAC READER LOCATION - REFER TO ELEC. CARDAC READER TO BE SURFACE MOUNTED. CONDUIT TO BE RUN INTO KITCHEN BEHIND BLOCK - REFER TO ELECT. CONFIRM LOCATION WITH CONTRACT ADMINISTRATOR PRIOR TO ANY WORK.
  - NEW AUTOMATIC SLIDING DOOR - REFER TO SPEC.
  - EXISTING CONCRETE SURFACE TO REMAIN
  - EXISTING STEEL HANDRAIL TO REMAIN. SANDBLAST, PRIME AND PAINT - TYP. CONTRACT ADMINISTRATOR TO SELECT COLOUR. REFER TO SPEC.
  - NEW WOOD BENCH. REFER TO DETAIL 7/A1.6
  - NEW CITY OF WINNIPEG INSTALLED ENUNCIATOR PANEL. CONTRACTOR TO PROVIDE EMT AND ELECTRICAL BOX. REFER TO ELECT. CONFIRM EXACT LOCATION WITH CONTRACT ADMINISTRATOR PRIOR TO WORK

No.	DATE	REVISION / ISSUANCE
5	YY.MM.DD	-
4	YY.MM.DD	-
3	YY.MM.DD	-
2	13 03 06	ISSUED WITH ADDENDUM NO. 2
1	13 01 18	ISSUED FOR CONSTRUCTION



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Project: BID OPPORTUNITY 931 - 2012  
Seven Oaks Pool  
Front Entrance Upgrades  
444 ADSUM DRIVE

Sheet Title: **DEMOLITION PLAN & MAIN FLOOR PLAN**

Project No: 1125  
Date: FEBRUARY 21, 2013

**A1.2**

NOTES:  
1. PROVIDE FIRESTOPPING AT ALL NEW PENETRATIONS TO SECOND FLOOR  
2. REFER TO ELECTRICAL DRAWINGS FOR LOCATION OF ALL NEW EMPTY EMT (ELECTRICAL METALLIC TUBING)

FULL EXTENT OF HANDRAIL NOT SHOWN. HANDRAIL IS +/- 30'-0" LONG. REFER TO NOTE 17 ON 2/A1.3 FOR HANDRAIL SIMILAR IN ELEVATION

APPROXIMATE LOCATION OF UNDERGROUND WATER SERVICES. CONTRACTOR TO LOCATE PRIOR TO COMMENCEMENT OF ANY WORK

NOTE: CONTRACTOR TO NOTIFY CONTRACT ADMINISTRATOR UPON DELIVERY OF DOOR FRAMES. CONTRACT ADMINISTRATOR TO ARRANGE CITY OF WINNIPEG ELECTRICAL WORK WITHIN FRAME TO BE COMPLETED PRIOR TO INSTALL OF FRAME - TYP D001, D002, D003

LOCATE NEW CURTAINWALL SYSTEM IN LOCATION OF DEMOLISHED CURTAINWALL

PHASE 1 RENOVATION. THE WORK IN THIS AREA TO BE COMPLETE PRIOR TO THE DEMOLITION OF THE WORK IN THE VESTIBULE.  
NOTE: NEW ALARM/KEYSWITCH TO BE OPERATIONAL IN NEW LOCATION PRIOR TO DEMOLITION OF EXISTING ALARM / KEYSWITCH STORAGE ROOM

PHASE 1 RENOVATION. THE WORK IN THIS AREA TO BE COMPLETE PRIOR TO THE DEMOLITION OF THE WORK IN THE VESTIBULE.  
NOTE: NEW ALARM/KEYSWITCH TO BE OPERATIONAL IN NEW LOCATION PRIOR TO DEMOLITION OF EXISTING ALARM / KEYSWITCH STORAGE ROOM

**1**  
A1.2  
DEMOLITION PLAN  
Scale 1/4" = 1'-0"

**2**  
A1.2  
MAIN FLOOR PLAN  
Scale 1/4" = 1'-0"