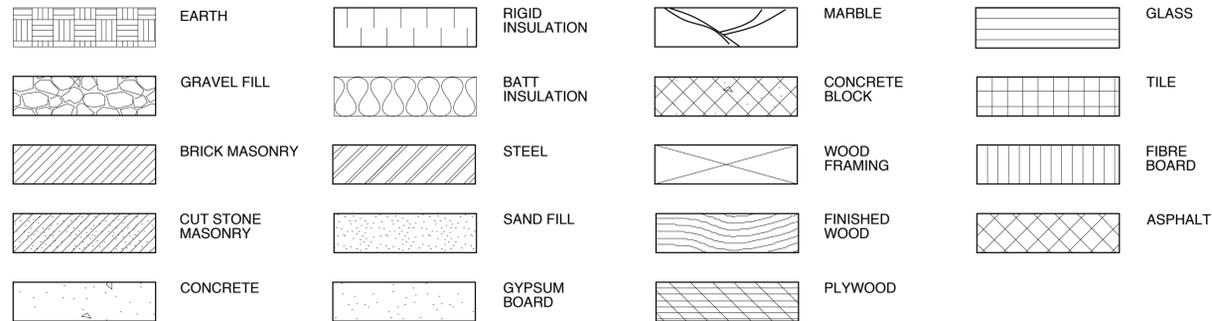


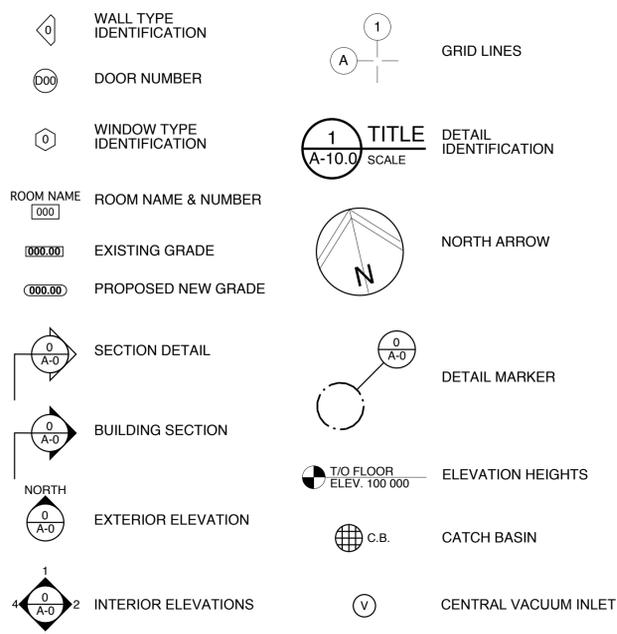
# GENERAL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF BUILDING LAYOUT DIMENSION PRIOR TO COMMENCEMENT OF FOUNDATION WORK. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING BUILDING DIMENSIONS IN RELATION TO THE PROPOSED ADDITIONS TO THE EXISTING BUILDING INCLUDING HEIGHTS WHERE ROOF ALIGNMENT IS CONCERNED OR REQUIRED.
- THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DRAWINGS PRIOR TO EXECUTING THE WORK AS SCHEDULED AND NOTIFY THE CONTRACT ADMINISTRATOR OF DISCREPANCIES AND INCONSISTENCIES PERTAINING TO THE ITEMS BELOW OR OTHER ITEMS AS THEY BECOME EVIDENT IN THE REVIEW PROCESS:
  - EXISTING GRADE ELEVATIONS IN RELATION TO NEW ENTRANCES, CONCRETE SLABS, ETC.
  - NEW FLOOR LEVELS IN RELATION TO EXISTING FLOOR LEVELS
  - MANUFACTURERS INSTRUCTIONS IN APPLYING AND ASSEMBLING CONSTRUCTION MATERIALS AS INDICATED IN THE DRAWINGS AND IN THE SPECIFICATIONS.
  - RATED WALLS, CEILINGS, NON-COMBUSTIBLE AIR PLENUMS AND RATED DUCT SHAFTS.
  - LOCATIONS OF LIGHTING FIXTURES, BELLS/DETECTORS, OUTLETS, SWITCHES, MOTION DETECTORS, ETC.
  - RATING REQUIREMENTS OF STRUCTURAL MEMBERS.
  - PRIOR KNOWLEDGE OF MECHANICAL SYSTEMS AND HOW THEY INTERFACE WITH THE BUILDING SYSTEMS AS A WHOLE.
  - IN-DEPTH REVIEW OF ALL SHOP DRAWINGS. SITE CONDITIONS SHALL DICTATE SHOP DRAWING REQUIREMENTS WHERE HEIGHTS AND DIMENSIONS ARE CONCERNED, EXCEPT WHERE THE ARCHITECT'S INTENT IS COMPROMISED, IN WHICH CASE, THE CONTRACT ADMINISTRATOR SHALL BE CONTACTED FOR INSTRUCTIONS.
  - INCORPORATE ALL ADDENDA, REVISIONS AND SUBSEQUENT CLARIFICATIONS OR INSTRUCTIONS.
  - ARCHITECTURAL SPECIALTIES SUCH AS CABINETS, SHELVING, WOOD TRIM/BANDING, WASHROOM ACCESSORIES, EQUIPMENT THRESHOLDS, ETC.
  - ACCEPTABLE FLOOR FINISH AND CONDITION FOR FLOOR FINISH APPLICATION.
  - ALL GOVERNING CODES AND BYLAWS PERTAINING TO THE PROJECT.
- THE CONTRACTOR SHALL APPOINT A WELL EXPERIENCED, QUALIFIED SUPERINTENDANT TO COORDINATE AND SUPERVISE THE WORK.
- ALL INCONSISTENCIES AND ERRORS SHALL BE PROMPTLY REPORTED TO THE CONTRACT ADMINISTRATOR FOR CORRECTION PRIOR TO FURTHER COMMENCEMENT OF WORK.
- ARCHITECTURAL DIMENSIONS AND HEIGHTS GOVERN OVER STRUCTURAL WHERE INCONSISTENCIES OCCUR. IF THE CONTRACTOR FAILS TO CORRECT THE ARCHITECTURAL DRAWINGS IN CASE OF ERRORS, HE SHALL BE FULLY RESPONSIBLE AND CORRECT AS DIRECTED BY THE CONTRACT ADMINISTRATOR.
- THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL WORK BETWEEN SUBCONTRACTOR(S) AND OTHER SPECIALTY ITEMS.
- SUBCONTRACTOR(S) SHALL NOT COMMENCE WORK ON SITE PRIOR TO A CAREFUL REVIEW OF THE WORK WITH THE QUALIFIED SUPERINTENDANT, AND PRIOR TO NOTIFYING THE CONTRACTOR OF COMMENCEMENT OF THE WORK.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT APPROPRIATE BLOCKING AND BACKING IS PROVIDED FOR ALL EQUIPMENT, FIXTURES, ACCESSORIES, CABINETS, HANDRAILS, ETC., FOR PURPOSES OF SECURE FASTENING. ALSO PROVIDE NON-COMBUSTIBLE HEAT DISPENSING BOXES FOR RECESSED POT LIGHTS INTO WOOD FLOOR AND ROOF STRUCTURE.
- THE GENERAL CONTRACTOR SHALL REVIEW THE WOOD AND STEEL TRUSS SHOP DRAWINGS FOR ADEQUATE SPACING REQUIREMENTS FOR MECHANICAL DUCTS, DIFFUSERS, ETC.
- INSULATION SHALL BE INSTALLED WITH CARE. LOOSE FITTING INSTALLED INSULATION IS UNACCEPTABLE. INSULATION SHALL COVER THE FULL DEPTH OF STUD CAVITY, AND SHALL BE UNIFORMLY FLUSH WITH THE FACE OF STUDS.
- VAPOUR BARRIER SHALL BE A CONTINUOUS MEMBRANE AND BUILDING ENVELOPE. TEARS SHALL BE PATCHED AND CAULKED AS SPECIFIED UNDER CONTRACTOR'S SUPERVISION. AT EXTERIOR WOOD OR METAL STUD PLACED ON CONCRETE SHALL BE PLACED ON A FOAM STRIP AS SPECIFIED, AND CONTINUOUSLY CAULKED BETWEEN PLATE AND PLYWOOD OR CONCRETE FLOOR BOTH INSIDE AND OUTSIDE. ATTACH AND CAULK VAPOUR BARRIER TO WINDOWS, DOORS, ELECTRICAL OUTLETS, ETC. WALL AND ROOF VAPOUR BARRIER SHALL BE CONTINUOUS AND CAULKED. THE VAPOUR BARRIER SHALL ACT AS A CONTINUOUS BUILDING ENVELOPE. TO ENSURE THAT ATTACHMENT OF POLYETHYLENE HAS BEEN ACHIEVED, USE MECHANICAL FASTENERS. FOLLOW THE INSTRUCTIONS OF THE MANUFACTURER WHEN INSTALLING PEEL AND STICK BITUMEN MEMBRANE.
- THE CONTRACTOR SHALL COORDINATE ALL ROUGH WINDOW, DOOR AND GRILLE OPENINGS IN FRAMED CONDITIONS AS A WHOLE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUBCONTRACTOR(S) TO INSTALL ALL PRODUCTS SUCH AS BITUMINOUS MEMBRANES, EQUIPMENT (MECHANICAL AND ELECTRICAL), LIGHTING FIXTURES, ACCESSORIES, STRICTLY ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS. FAILURE TO DO SO CAN RESULT IN REJECTING THE WORK; FAILURE TO DO SO CAN RESULT IN RE-INSTALLATION OF SUCH AT NO EXTRA COST TO THE OWNER.
- SHOP DRAWINGS SHALL BE PROVIDED AND SUBMITTED TO THE CONTRACT ADMINISTRATOR FOR REVIEW. THE SHOP DRAWINGS SHALL BE REVIEWED FOR THE ARRANGEMENT OF ALL STRUCTURAL COMPONENTS, INCLUDING MEMBRANE, ENVELOPE, VAPOUR BARRIER SYSTEMS, ACCESSORIES, HARDWARE, AND OTHER SPECIALTIES, ETC. AS COMPRISE THE BUILDING AS A WHOLE. THE CONTRACTOR SHALL AFTER REVIEW, FORWARD THE SHOP DRAWINGS TO THE CONTRACT ADMINISTRATOR. THE CONTRACT ADMINISTRATOR SHALL REVIEW THE SAME FOR INTENT ONLY. FABRICATORS SHALL NOTIFY THE CONTRACT ADMINISTRATOR IN WRITING WHERE DEVIATION FROM DRAWINGS IN DIMENSIONS OR EQUIPMENT SIZES AND LOCATION, ETC., DIFFER FROM THE INTENT OF THE DRAWINGS OR SUGGESTIONS ARE MADE CONTRARY TO THE DRAWINGS AS A WHOLE. ACCEPTED SHOP DRAWINGS SHALL GOVERN ALL SUBSEQUENT WORK.
- SUB-CONTRACTORS SHALL PROVIDE ALL NECESSARY MATERIALS, FASTENERS, ETC., WHETHER SHOWN OR NOT SHOWN, FOR SECURING AND FINISHING THE WORK AS INTENDED. SUB-CONTRACTORS SHALL NOTIFY THE CONTRACT ADMINISTRATOR IN WRITING OF UNIDENTIFIED ITEMS REQUIRED TO COMPLETE WORK, DURING THE BID OPPORTUNITY PERIOD. FAILURE TO DO SO CANNOT CONSTITUTE AN EXTRA AFTER THE BID OPPORTUNITY HAS CLOSED.
- CONTRACTOR AND SUB-CONTRACTORS SHALL REFER TO THE MANITOBA BID DEPOSITORY TRADE DEFINITION WHERE CONFLICT BETWEEN TRADE WORK ARISES.
- ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND OTHER SPECIALTY DRAWINGS SHALL BE READ TOGETHER AS A WHOLE. STRUCTURAL ITEMS NOT SHOWN IN THE ARCHITECTURAL DRAWINGS, SHALL BE INCLUDED IN THE WORK. WHERE CONFLICT ARISES BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS, CONTACT THE CONTRACT ADMINISTRATOR FOR CLARIFICATION.
- THE ARCHITECTURAL DRAWINGS SHALL GOVERN OVER ALL OTHER DRAWINGS WHERE DISAGREEMENTS AND INCONSISTENCIES ARISE. IN SUCH INSTANCES CONTACT THE CONTRACT ADMINISTRATOR FOR CLARIFICATIONS.
- THE CONTRACTOR SHALL ENSURE THAT A HIGH QUALITY AND STANDARD OF WORKMANSHIP IS MAINTAINED THROUGHOUT THE ENTIRE PERIOD OF WORK UNTIL THE WORK IS COMPLETE. PROPER FIT SHALL BE ACHIEVED BETWEEN ALL COMPONENTS AS INTENDED. WHERE THIS CANNOT BE ACHIEVED, CONTACT THE CONTRACT ADMINISTRATOR FOR FURTHER REVIEW AND CLARIFICATION.
- THE CONTRACT ADMINISTRATOR WILL ASSIST IN ALL MATTERS REQUIRING CLARIFICATIONS OR INTERPRETATIONS, OR WHERE REQUIRED, TO PROVIDE ADDITIONAL DETAILS DURING THE SCHEDULED PERIOD OF WORK.

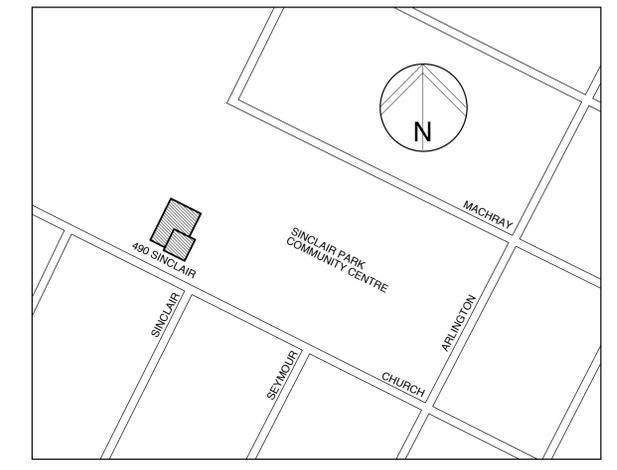
# MATERIAL SYMBOLS



# DRAWING SYMBOLS



# LOCATION MAP



**IMPORTANT NOTES:**

- MINIMUM 48HRS NOTIFICATION TO PUBLIC WORKS BUILDING SERVICES DEPARTMENT IS REQUIRED FOR PLACING OF ANY PILES OR CONCRETE WORK OR ANY CRITICAL CONSTRUCTION TECHNIQUE. ALL CONSTRUCTION WORK WILL BE HALTED IF NOTICE IS NOT ADHERED TO.
- PROMPTLY REPORT ALL ACCIDENTS AND POTENTIAL LIABILITY CLAIMS TO THE CONTRACT ADMINISTRATOR.

# ABBREVIATIONS

A/C	AIR CONDITIONER	LTG.	LIGHTING
ADJ.	ADJUSTABLE	M.T.P.	METAL TOILET PARTITION
ALUM.	ALUMINIUM	MANUF.	MANUFACTURER
AN. ALUM.	ANODIZED ALUMINIUM	MECH.	MECHANICAL
ARCH.	ARCHITECT / ARCHITECTURAL	MEZZ.	MEZZANINE
BL.	BLOCK	MIN.	MINIMUM
BUILDG.	BUILDING	MIR.	MIRROR
BOT.	BOTTOM	MISC.	MISCELLANEOUS
C.H.	COAT HOOK	MTL.	METAL
CL.	CENTER LINE	N.I.C.	NOT IN CONTRACT
C/W	COMPLETE WITH	NTS	NOT TO SCALE
CLG.	CEILING	O.C.	ON CENTER
COL.	COLUMN	O.D.	OUTSIDE DIAMETER
CONC.	CONCRETE	P	PLATE
CONCR.	CORRIDOR	P.P.	PRESSURE TREATED
CPT.	CARPET	P.LAM.	PLYWOOD
CTR.	CENTER	P.P.	POLYETHYLENE VAPOUR BARRIER
D.F.	DRINKING FOUNTAIN	PREFIN.	PRE-FINISHED
D.W.	DRYWALL	Q.T.	QUARRY TILE
DBL.	DOUBLE	R.D.	ROUGH DRAIN
DIMS.	DIMENSIONS	R.O.	ROUGH OPENING
DR.	DRAWING	R.S.C.	RESILIENT SOUND CHANNEL
DTG.	DETAIL	R.W.L.	RAIN WATER LEADER
DWGS.	DRAWINGS	RAD.	RADIUS
E.J.	EXPANSION JOINT	REINFC.	REINFORCED
ELECT.	ELECTRICAL	REQ'D	REQUIRED
ELEV.	ELEVATION	REV.	REVERSE
EPS	EXPANDED RIGID INSULATION	S.C.	SOLID CORE
EXT.	EXTERIOR	S.D.	SOAP DISPENSER
F.D.	FLOOR DRAIN	S.H.	SOAP HOLDER
F.N.D.	FEMININE NAPKIN DISPOSAL	SIM.	SIMILAR
F.N.V.	FEMININE NAPKIN VENDOR	SPL. PAD	SPLASH PAD
F.C.	FACE OF	STL.	STEEL
FLSHG.	FLASHING	STRUC.	STRUCTURAL
G.B.	GRADE BEAM	T.D.	TAPER TOWEL DISPENSER
G.B.	GRAB BAR	T.D.W.	TAPER TOWEL DISPENSER & WASTE
G.M.	GALVANIZED METAL	T.H.	TEST HOLE
G.W.B.	GYPSUM WALL BOARD	T.P.H.	TOILET PAPER HOLDER
G.W.G.	GEORGIAN WIRED GLASS	T.O.P.	TOP OF
GALV.	GALVANIZED	TYE.	TYPICAL
H.C.	HOLLOW CORE	U/S.	UNDER SIDE
H.M.	HOLLOW METAL	V.C.T.	VINYL COMPOSITE TILE
H.S.S.	HOLLOW STEEL SECTION	WD.	WOOD
HT.	HEIGHT	WID.	WINDOW
I.C.F.	INSULATED CONCRETE FORM	XPS	EXTRUDED RIGID INSULATION
INCL.	INCLUDE		
INSUL.	INSULATION		
INT.	INTERIOR		

# BUILDING SUMMARY

**MAJOR OCCUPANCY:** A2 - COMMUNITY CENTRE

**BUILDING AREA:**

- MAIN FLOOR: 1,285 s.m. (13,830 s.f.)
- BASEMENT: 337 s.m. (3,627 s.f.)

**BUILDING STOREYS:** ONE STOREY WITH BASEMENT

**NUMBER OF 'STREETS':** 1

**BUILDING CLASSIFICATION:** 3.2.2.25 - GROUP A, DIVISION 2, UP TO 2 STOREYS

- ONE STOREY FACING ONE STREET: 1600 s.m. PERMITTED. (1,285 s.m. ACTUAL)
- COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION PERMITTED.
- FLOOR ASSEMBLIES AND ROOF ASSEMBLIES (AND SUPPORTING STRUCTURE) TO BE 45m RATED IF OF COMBUSTIBLE CONSTRUCTION.

**ADDITIONAL RATING REQUIREMENTS:**

- 45m RATING FOR FLOOR ASSEMBLY ABOVE BASEMENT (3.2.1.4)
- 1hr RATING AROUND MECHANICAL ROOM. (3.6.2.1)
- 45m RATING AROUND JANITORIAL ROOM. (3.3.1.21)
- 45m RATING AROUND (FUTURE) ELEVATOR SHAFT. (3.5.3.1)

**EXITS:**

- MAX. TRAVEL DISTANCE: 30m - ACTUAL < 30m
- EXIT STAIR ENCLOSURES RATED TO 45m. (3.4.4.1)

**OCCUPANT LOAD (PER NBC DEFINITIONS):**

- NEW GYM: 515 s.m. / 0.95 = 542 PEOPLE
- GATHERING SPACE: 74 s.m. / 0.95 = 78 PEOPLE
- CHANGE ROOMS: 15 x 2 = 30 PEOPLE
- MINI-GYM: 116 s.m. / 0.95 = 122 PEOPLE
- OFFICES: 15 s.m. / 9.3 = 2 PEOPLE
- BOARDROOM: 47 s.m. / 0.95 = 50 PEOPLE
- KITCHEN: 51 s.m. / 9.3 = 6 PEOPLE
- STORAGE: 76 s.m. / 46 = 2 PEOPLE
- BASEMENT CHANGE ROOMS: 52 PEOPLE
- BASEMENT STORAGE: 85.5 s.m. / 46 = 2 PEOPLE
- TOTAL: 1,401 PEOPLE

NOTE: OCCUPANCY LIMITED TO 600 BY WASHROOM FIXTURES. TYPICAL OCCUPANCY LESS THAN 100 PEOPLE. MAX OCCUPANCY EXPECTED FOR SOCIALS IN LARGE GYM - UP TO +/- 550 PEOPLE.

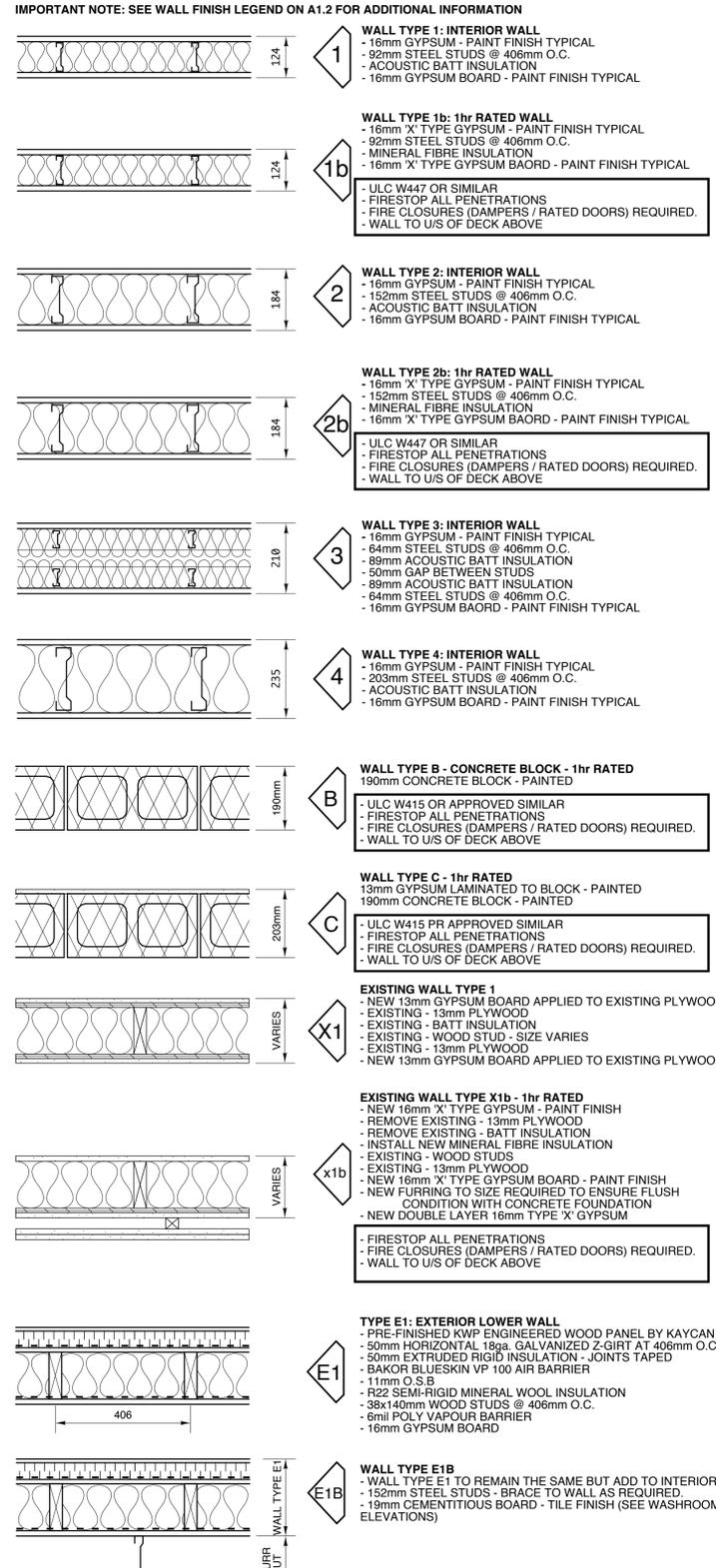
**WATER CLOSETS:**

FEMALE: 10 FIXTURES = 300 PERSONS  
 MALE: 7 FIXTURES = 400 BUT LIMITED TO 300 BASED ON 3. 7.2.2-1

# DRAWING INDEX

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A-1.1	GENERAL NOTES, SYMBOLS, ABBREVIATIONS, LOCATION MAP, WALL TYPES, DRAWING INDEX	A-6.2 WINDOW PROFILES/ENTRANCE ELEVATION
A-1.2	WALL TYPES/FINISHES AND LOCATIONS	A-7.1 BUILDING CROSS SECTIONS
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M-3.1	BASEMENT PLAN - PLUMBING AND GAS PIPING LAYOUT
M-3.2	MAIN FLOOR PLAN - PLUMBING AND GAS PIPING LAYOUT
M-4.1	BASEMENT PLAN - HEATING LAYOUT
M-4.2	MAIN FLOOR PLAN - HEATING LAYOUT
M-5.1	BASEMENT PLAN - VENTILATION LAYOUT
M-5.2	MAIN FLOOR PLAN - VENTILATION LAYOUT
M-6.1	MECHANICAL ROOF PLAN
M-7.1	DETAILS
M-8.1	DETAILS AND MECHANICAL SECTIONS
M-9.1	HEATING PIPING SCHEMATIC

**ELECTRICAL**

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E-1.1	SITE PLAN - ELECTRICAL
EL-2.0	BASEMENT LIGHTING LAYOUT
EL-2.1	MAIN FLOOR LIGHTING LAYOUT
EP-2.0	BASEMENT FLOOR PLAN POWER & SYSTEMS LAYOUT
EP-2.1	MAIN FLOOR POWER & SYSTEMS LAYOUT
E-3.0	ROOF PLAN - ELECTRICAL LAYOUT
E-3.1	ENLARGED KITCHEN PLAN - ELECTRICAL LAYOUT
E-4.1	ELECTRICAL SINGLE LINE DISTRIBUTION SCHEMATIC
E-5.1	SCHEDULES
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**MECHANICAL & ELECTRICAL**

ME-1.1	SCHEDULES
ME-1.2	SCHEDULES

**LANDSCAPE**

L-1	LANDSCAPE PLAN
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**revision**

This drawing must not be scaled.

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**project**

**SINCLAIR PARK COMMUNITY CENTRE**  
 Winnipeg, Manitoba

**sheet title**

**GENERAL NOTES, SYMBOLS, ABBREVIATIONS, LOCATION MAP, WALL TYPES, DRAWING INDEX**

**project number:** 08-011 **drawing number:**

**scale:** AS NOTED **A-1.1**

**drawn by:** G.S.

**approved by:** H.F.

**date:** 26th FEB 2010